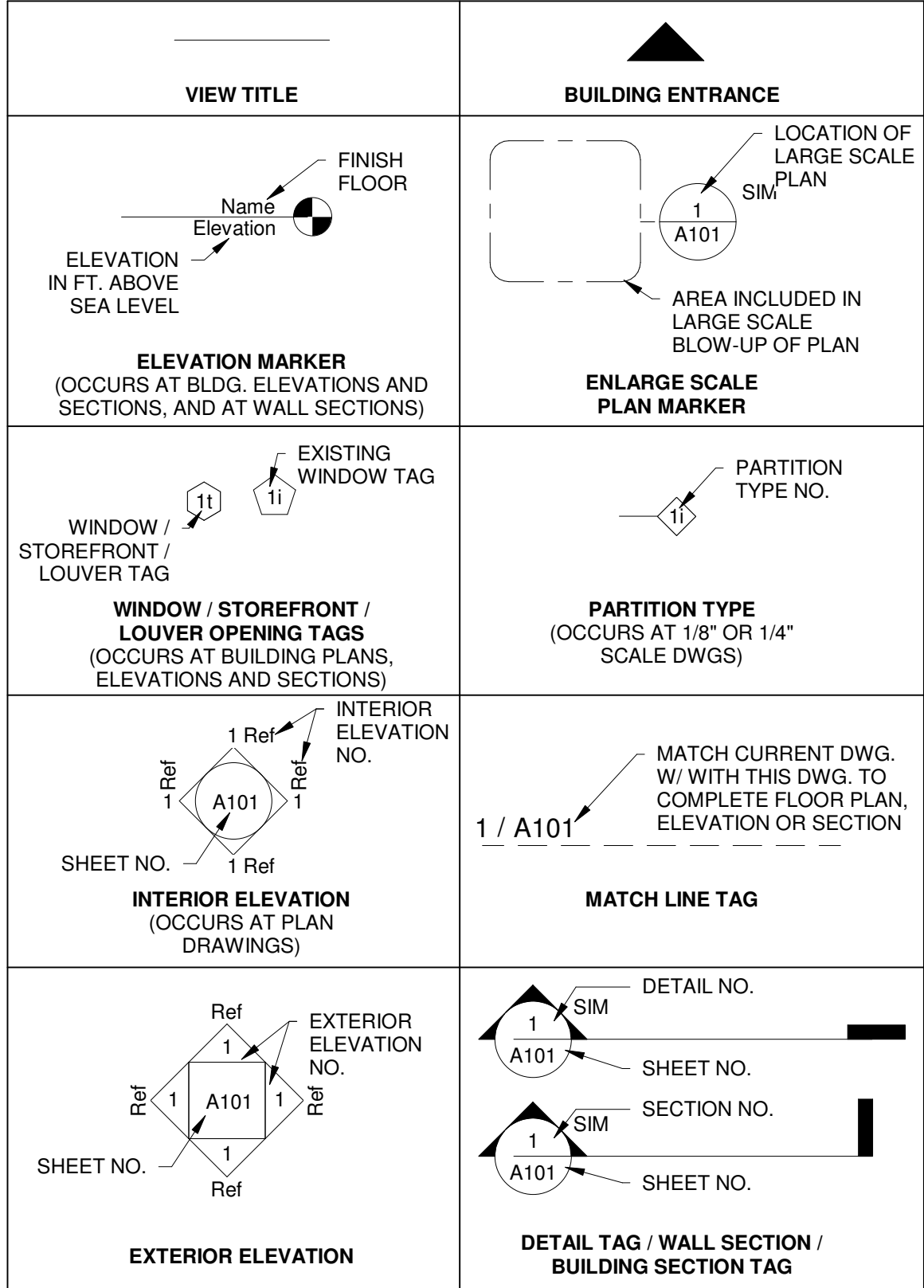


ABBREVIATIONS

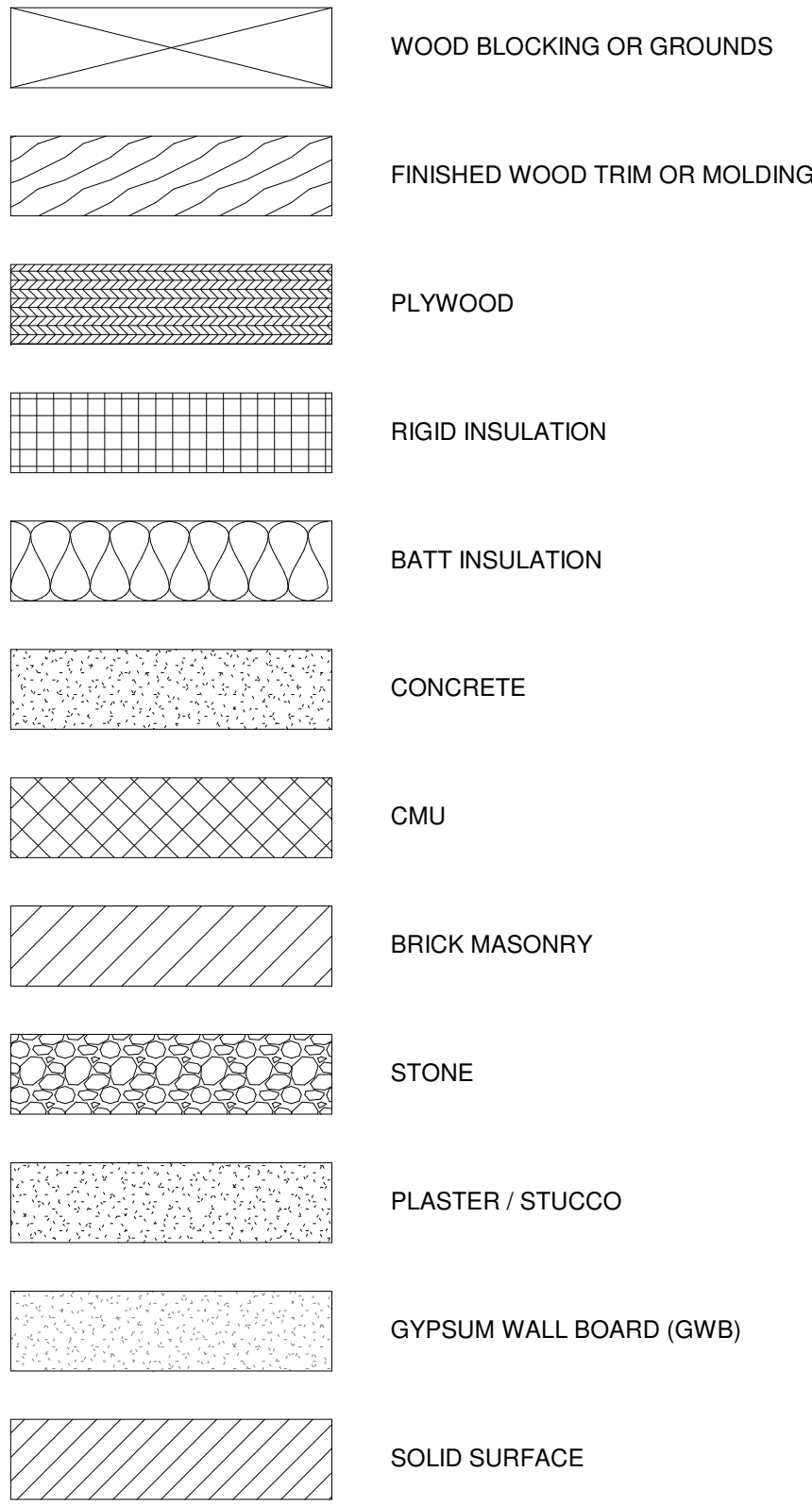
AB	ANCHOR BOLT	GV	GAS VALVE	STRO	STRINGER
AC	AIR CONDITIONING	GWB	GYPSUM WALL BOARD	STRUCT	STRUCTURE OR STRUCTURAL
ACC	ACCESSIBLE	GYP	GYPSUM	SUBCAT	SUBCATEGORY
ACQUST	ACOUSTICAL	H	HIGH/HEIGHT	SUSP	SUSPENDED
ACT	ACUSTIC CEILING TILE	HB	HOSE BIB	SV	SHEET VINYL
AD	ACCESS DOOR	HC	HANDICAPPED	SW	SOUTHWEST
ADD	ADDENDUM	HOW	HARDWARE	SYM	SYMMETRICAL
ADJ	ADJACENT	HOWD	HARDWOOD	SYS	SYSTEM
AFF	ABOVE FINISHED FLOOR	HRL	HOLLOW METAL	T	TREAD
AFG	ABOVE FINISHED GRADE	HO	HOLD OPEN	T&B	TOP AND BOTTOM
AGGR	AGGREGATE	HP	HIGH POINT	T&G	TONGUE AND GROOVE
ALT	ALTERNATE	HR	HOOR	TB	TOWEL BAR
ALUM	ALUMINUM	HRC	HOSE REEL CABINET	TEL	TELEPHONE/TELECOM
ANOD	ANODIZED	HT	HEIGHT	TELE	TELEPHONE
APC	ACOUSTICAL PANEL CEILING	HTR	HEATER	TEMP	TEMPERATURE
APPROX	APPROXIMATE	HVAC	HEATING VENTILATION AND AIR CONDITIONING	TH	THICKNESS
ARCH	ARCHITECTURAL	HW	HOT WATER	THR	THRESHOLD
ASPH	ASPHALT	ID	INSIDE DIAMETER	THRU	THROUGH
ATTN	ATTENTION	IS	INSULATED GLASS UNIT	TKBD	TACK BOARD
AUTO	AUTOMATIC	ISU	INSULATED GLASS UNIT	TLT	TOILET
AV	AUDIOVISUAL	IN	INCH/INCHES	TMPD	TEMPERED
BD	BOARD	INCL	INCLUDE/INCLUDING	TO	TOP OF
BET. BTW	BETWEEN	INCLD	INCLUDE/INCLUDING	TOB	TOP OF BEAM
BIT	BITUMINOUS	INSUL	INSULATION OR INSULATED	TOC	TOP OF CONCRETE
BLDG	BUILDING	INT	INTERIOR	TOB	TOP OF STEEL
BLK	BLOCK	INTM	INTERMEDIATE	TPD	TOILET PAPER DISPENSER
BLKG	BLOCKING	INTV	INTERVIEW	TS	TUBE STEEL
BM	BEAM	INVT	INVERT	TV	TELEVISION
BO	BOTTOM OF	JC	JANITOR'S CLOSET	TYP	TYPICAL
BOT	BOTTOM	JAN	JANITOR	UL	UNDERWRITERS LABORATORIES
BRG	BEARING	JCT	JOINT	UNFIN	UNFINISHED
BRK	BROCK	JO	JOINT	UNO	UNLESS NOTED OTHERWISE
BRKT	BRACKET	KIT	KITCHEN	UON	UNLESS OTHERWISE NOTED
BSMNT	BASEMENT	KO	KNOCK OUT	UPNL	UPPER
C	C	LAM	LAMINATED	VAC	VENTILATION AND AIR CONDITIONING
CAB	CABINET	LAV	LAVATORY	VAR	VARIABLE
CAT	CATEGORY	LB	LINEAR FEET	VAT	VINYL ASBESTOS TILE
CB	CATCH BASIN	LF	LINEAR FEET	VB	VAPOR BARRIER
CB	CEMENT BOARD	LLH	HORIZONTAL	VCT	VINYL COMPOSITION TILE
CBU	CEMENTITIOUS BACKER UNIT	LLV	LONG LEG VERTICAL	VERT	VERTICAL
CC	CENTER TO CENTER	LWT	LIGHTWEIGHT	VEST	VESTIBULE
CCTV	CLOSED CIRCUIT TELEVISION	MANUF	MANUFACTURER	VIF	VERIFY IN FIELD
CEM	CEMENT	MAS	MASONRY	VP	VISION PANEL
CER	CERAMIC	MATL	MATERIAL	VR	VINYL TILE
CG	CORNER GUARD	MAX	MAXIMUM	VTR	VENT THROUGH ROOF
CH	CHILLER	MECH	MECHANICAL	VWC	VINYL WALL COVERING
CI	CAST IRON	MED	MEDIUM	W	WIDE/WEST
CIP	CAST-IN-PLACE	MEMBR	MEMBRANE	WO	WITHOUT
CJ	CONTROL JOINT	MH	MAN HOLE	WC	WATER CLOSET
CK	CORNER	MIN	MINIMUM	WO	WOOD
CL	CENTERLINE	MISCELLANEOUS		WM	WIRE MESH
CLG	CEILING	MO	MASONRY OPENING	WP	WATERPROOF/WATER PROOFING
CLR	CLEAR	MOR	MOISTURE RESISTANT	WPM	WATERPROOF MEMBRANE
CLT	CLOSET	MTD	MOUNTED	WS	WEATHER STRIPPING
CMT	CERAMIC MOSAIC TILE	MTG	MOUNTING	WST	WEATHER STRIPPING
CMU	CONCRETE MASONRY UNIT	MTL	METAL	WT	WEIGHT
CNTR	COUNTER	MULL	MULLION	WV	WATER VALVE
CO	CLEANOUT	N	NOT APPLICABLE	WNF	WELDED WIRE FABRIC
COL	COLUMN	NA	NOT APPLICABLE	WWM	WELDED WIRE MESH
CONC	CONCRETE	NC	NOISE CRITERIA		
COND	CONDITION	NIC	NOT IN CONTRACT		
CONN	CONNECTION	NO	NUMBER		
CONST	CONSTRUCTION	NCM	NOMINAL		
CONT	CONTINUOUS	NON COMB	NON COMBUSTIBLE		
CONTR	CONTRACTOR	NTS	NOT TO SCALE		
COORD	COORDINATE	NW	NORTHWEST		
CORR	CORRIDOR	OA	OUTSIDE AIR		
CPT	CERAMIC TILE	OD	OUTSIDE DIAMETER		
CTR	CENTER	OF	OWNER FURNISHED, CONTRACTOR INSTALLED		
CTSK	COUNTERSINK	OFF	OFFICE		
CW	COLD WATER	OPK	OWNER FURNISHED, OWNER INSTALLED		
D	DEEP, DEPTH	OK	DOUBLE		
DBL	DOUBLE	OPNG	OPENING		
DEG	DEGREE	OPP	OPPOSITE		
DEMO	DEMOLISH OR DEMOLITION	ORD	OVERFLOW ROOF DRAIN		
DEPT	DEPARTMENT	OVR	OVERHEAD		
DET	DETAIL	PAY	PAVING		
DF	DIAMETER	PBD	PARTICLE BOARD		
DIA	DIAMETER	PC	PRECAST		
DIFF	DIFFUSER	PDF	POWER DRIVEN FASTENER		
DIM	DIMENSION	PERF	PERFORATED		
DIMS	DIMENSIONS	PERIM	PERIMETER		
DISP	DISPENSER	PERP	PERPENDICULAR		
DIV	DIVISION	PL	PLATE		
DMPF	DAMP PROOFING	PLAM	PLASTIC LAMINATE		
DN	DOWN	PLAS	PLASTER		
DO	DOOR OPENING	PLBG	PLUMBING		
DR	DOOR	PLF	POUNDS PER LINEAR		
DRN	DRAIN	PLYWD	PLYWOOD		
DS	DOWNSPOUT	PL	PANEL		
DTL	DETAIL	PNT	PANT OR PAINTED		
DW	DISHWASHER	POL	POLISHED		
DWG	DRAWING	POLYISO	POLYISOCYANURATE		
DWR	DRAWER	PAIR	PAIR		
E	EACH	PREFAB	PREFABRICATED		
EA	EACH	PROJ	PROJECT		
EB	EXPANSION BOLT	PSF	POUNDS PER SQUARE FOOT		
EJ	EXPANSION JOINT	PT	PRESSURE TREATED		
EL	ELEVATION	PTN	PARTITION		
ELEC	ELECTRICAL	PVC	POLYVINYL CHLORIDE		
ELEV	ELEVATION	QT	QUARTY TILE		
EMER	EMERGENCY	QTY	QUANTITY		
ENCL	ENCLOSURE	IT	INTERIOR		
ENG	ENGINEER	RA	RADIUS		
EP	ELECTRICAL PANEL	RAD	RADIUS		
EPDM	ETHYLENE PROPYLENE DIENE M-CASS	RB	RESILIENT BASE		
EQ	EQUAL	RBR	RUBBER		
EQUIP	EQUIPMENT	RCP	REFLECTED CEILING		
EXH	EXHAUST	RD	ROOF DRAIN		
EXIST	EXISTING	REC	RECESSED		
EXP	EXPANSION	RECT	RECEPTACLE		
EXPD	EXPOSED	REF	REFERENCE		
EXT	EXTERIOR	REFR	REFRIGERATOR		
FA	FIRE ALARM	REG	REGISTER		
FB	FACE BRICK	REIN	REINFORCED/REINFORCED		
FD	FLOOR DRAIN	REL	RELOCATE		
FDC	FIRE DEPARTMENT CONNECTION	REM	REMOVABLE		
FE	FIRE EXTINGUISHER (WALL MOUNT)	RECOM	RECOMMENDED		
FEC	FIRE EXTINGUISHER CABINET	RESIL	RESILIENT		
FFAE	FURNITURE, FIXTURES AND EQUIPMENT	REV	REVISION/REVISED		
FFEL	FINISH FLOOR ELEVATION	RM	ROOM		
FL	FLOOR	RND	ROUND		
FLASH	FLASHING	RNG	ROUGH OPENING		
FLASH FLUOR	FLASHING FLUOR	ROW	RIGHT OF WAY		
FND	FOUNDATION	RTD	RATED		
FO	FACE OF	RTG	RATING		
FP	FIRE PROTECTION	RWL	RAIN WATER LEADER		
FPG	FIREPROOFING	S	SUPPLY AIR		
FR	FIRE RESISTANT	SAF	SELF ADHERED FLASHING		
FRG	FIRE RETARDANT TREATED	SCD	SCHEDULE		
FT	FEET/FOOT	SD	STORM DRAIN		
FTG	FOOTING	SE	SOUTH/EAST		
FURN	FURNITURE	SECT	SECTION		
FURN	FURNITURE	SF	SQUARE FEET/FOOT		
FWC	FABRIC WALL COVERING	SH	SINK		
FWP	FABRIC WRAPPED PANEL	SHR	SHOWER		
GA	GAUGE	SHIT	SHEET		
GALV	GALVANIZED	SM	SHEET METAL		
GB	GRAB BAR	SM	SURFACE MOUNTED		
GC	GENERAL CONTRACTOR	SND	SANITARY WASTE DISPOSAL		
GEN	GENERAL	SNT	SEALANT		
GFRC	GLASS FIBER REINFORCED CONCRETE	SP	STANDARD		
GL	GLASS	SPK	SPEAKER		
GLAZ	GLAZING	SS	STAINLESS STEEL		
GRN	GRANULAR	SSK	SERVICE SINK		
GRD	GROUND	STA	STATION		
GRFG	GLASS FIBER REINFORCED GYPSUM	STC	STANDARD TRANSMISSION COEFFICIENT		
GSM	GALVANIZED SHEET METAL	STD	STANDARD		
		STG	SEATING		
		STL	STEEL		
		STOR	STORAGE		



REFERENCE SYSTEMS



KEY TO MATERIALS



LANFORD REHAB  
PHASE II EXTERIOR

194 CENTRAL AVENUE  
FREDONIA, NY 14063

STATE UNIVERSITY OF NEW YORK AT FREDONIA

PROJECT NO. 051037

FBA PROJECT NO. 00388

DATE: OCTOBER 1, 2024

STRUCTURAL  
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MEP/FP  
ENGINEERING

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DRAWING LIST

EXISTING SITE SURVEY

ES-01 EXISTING SITE SURVEY

ELECTRICAL

E-000 ELECTRICAL SYMBOLS, NOTES, AND ABBREVIATIONS  
E-100 ELECTRICAL GARAGE PLAN  
E-700 ELECTRICAL SCHEDULES AND DETAILS

CIVIL

G0-01 NOTES, ABBREVIATIONS AND LOCATION MAPS  
C0-01 DEMOLITION, SEDIMENT AND EROSION CONTROL PLAN  
C1-01 MATERIALS AND LAYOUT PLAN  
C3-01 GRADING, UTILITIES AND EROSION & SEDIMENT CONTROL PLAN  
C4-01 PLANTING PLAN  
C6-01 DETAILS  
C6-02 DETAILS

STRUCTURAL

S0-01 SYMBOLS, ABBREVIATIONS, GENERAL NOTES, AND DESIGN CRITERIA  
S0-02 TYPICAL DETAILS  
S1-01 FOUNDATION / FIRST FLOOR PLAN  
S1-02 SECOND FLOOR FRAMING PLAN  
S1-03 ROOF FRAMING PLAN  
S2-01 CONCRETE SECTIONS  
S3-01 FRAMING SECTIONS  
S3-02 FRAMING SECTIONS

HAZ. MAT

HM-01 HAZARDOUS MATERIALS EAST ELEVATION REMOVAL PLAN  
HM-02 HAZARDOUS MATERIALS SOUTH ELEVATION REMOVAL PLAN  
HM-03 HAZARDOUS MATERIALS WEST ELEVATION REMOVAL PLAN  
HM-04 HAZARDOUS MATERIALS NORTH ELEVATION REMOVAL PLAN  
HM-05 HAZARDOUS MATERIALS REMOVAL GARAGE ELEVATIONS

DEMOLITION

AD-00 PROJECT DEMO SITE PLAN  
AD-01 GARAGE DEMO PLANS  
AD-02 GARAGE DEMO ELEVATIONS  
AD-03 HOUSE DEMO ROOF PLAN  
AD-04 HOUSE DEMO EAST AND SOUTH ELEVATIONS  
AD-05 HOUSE DEMO WEST AND NORTH ELEVATIONS

CODE CONFORMANCE

CC-01 CODE CONFORMANCE PLANS

ARCHITECTURAL

A1-00 SITE PLAN  
A1-01 GARAGE PLANS  
A1-02 HOUSE ROOF PLAN  
A2-01 GARAGE ELEVATIONS  
A2-02 HOUSE EAST AND SOUTH ELEVATIONS  
A2-03 HOUSE WEST AND NORTH ELEVATIONS  
A4-01 HOUSE EXTERIOR DETAILS  
A4-02 HOUSE EXTERIOR DETAILS  
A6-01 GARAGE AND HOUSE WINDOW AND DOOR SCHEDULES

THESE DOCUMENTS, SUBMITTED FOR THE SPECIFIC PROJECT NAMED 72 SYCAMORE STREET, BUFFALO, NEW YORK ARE AN INSTRUMENT OF SERVICE AND ARE NOT TO BE ALTERED, COPIED, OR USED FOR ANY OTHER PROJECT WITHOUT THE EXPRESSED WRITTEN PERMISSION OF FLYNN BATTAGLIA ARCHITECTS, DPC. IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS UNDER THE DIRECTION OF A LICENSED ARCHITECT OR ENGINEER, TO ALTER ANY ITEMS IN THESE DOCUMENTS IN ANY WAY. IF ANY ITEM IS ALTERED, THE ALTERING ARCHITECT/ENGINEER SHALL AFFIX HIS/HER SEAL ALONG WITH THE NOTATION "ALTERED BY" FOLLOWED BY HIS/HER SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION. COPYRIGHT 2024 FLYNN BATTAGLIA ARCHITECTS, D.P.C. ALL RIGHTS RESERVED.



THE REGISTERED PROFESSIONAL CERTIFIES THAT THIS PROJECT HAS BEEN DESIGNED BY ME, OR UNDER MY SUPERVISION, IN ACCORDANCE WITH THE BUILDING CODE OF NEW YORK STATE AND THE ENERGY CONSERVATION CODE OF NEW YORK STATE AND APPLICABLE FEDERAL LAWS AND REGULATIONS AND TO THE BEST OF MY KNOWLEDGE AND BELIEF, THESE CONSTRUCTION DOCUMENTS ARE IN CONFORMANCE THEREWITH.

DATE 10/01/2024

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PROJECT NO. 051037

LANFORD REHAB

PHASE II EXTERIOR

194 CENTRAL AVENUE

FREDONIA, NEW YORK 14063

100% CONSTRUCTION DOCUMENT SET

Revision Schedule		
Revision Number	Date	Description

DRAWING ISSUED:

10/01/2024

Project Number:  
FBA PROJECT #00345.00

Scale:  
As indicated

Drawn By:

MNB

Checked By:

MM

Drawing Title

COVER SHEET

Drawing Number

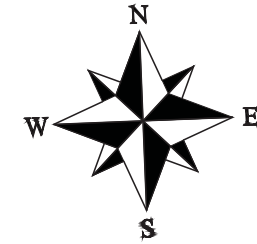
00-00

LEGEND	
CLF	CHAIN LINK FENCE
SFL	STOCKADE FENCE
WFL	WIRE FENCE
MB	MAIL BOX
DS	DOUBLE SIGN
SI	SIGN
GP	GUARD POSTS
FP	FLAG POLE
TD	TREE DECIDUOUS
TC	TREE CONIFEROUS
G	GAS LINE
GM	GAS METER
GV	GAS VALVE
GS	GAS SERVICE
GLM	GAS LINE MARKER
DI	DRAINAGE INLET
DMH	STORM DRAINAGE MANHOLE
ST	STORM SEWER LINE
SMH	SANITARY MANHOLE
SCD	SEWER CLEANOUT
SV	SEWER VENT
SA	SANITARY SEWER LINE
INV	INVERT ELEVATION
SP	SIGNAL SUPPORT POLE
SH	SIGNAL HEAD
TC	TRAFFIC CONTROL BOX
TCSP	TRAFFIC SIGNAL POLE
TCPP	TRAFFIC PEDESTRIAN POLE
LIGHT	LIGHT STANDARD
EH	ELECTRIC VAULT/HANDHOLE
EM	ELECTRIC METER
EMH	ELECTRIC MANHOLE
UP	UTILITY POLE
UPL	UTILITY POLE W/ LIGHT
OHW	OVERHEAD WIRES
UE	UNDERGROUND ELECTRIC
FA	UNDERGROUND FIRE ALARM
FAH	FIRE ALARM HANDHOLE
FLT	FLOOD LIGHT
UT	UNDERGROUND TELEPHONE
TEL BOX	TELEPHONE JUNCTION BOX
TLM	TELEPHONE LINE MARKER
TMH	TELEPHONE MANHOLE
CATV	BURIED CABLE TV LINE
W	WATER LINE
WV	WATER VALVE
HYD	HYDRANT
WS	WATER SERVICE
WCR	WHEEL CHAIR RAMP
CONC	CONCRETE
BC	BOTTOM OF CURB
TC	TOP OF CURB
SW	SIDEWALK
EP	EDGE OF PAVEMENT
FF	FINISHED FLOOR
EPS	EDGE OF PAVED SHOULDER
FA	FIRE ALARM
CC	CURB ENTRANCE CUT
DAM	DEED AND MEASURED
CP	PRIMARY CONTROL POINT
BLP	SECONDARY CONTROL POINT
BH#	TEST BORE W/ ELEVATION

NORTHWEST CORNER OF A GRANT OF LAND BY LETTERS PATENT TO JOSEPHINE V.B. NIXON KEENA RECORDED IN LIBER 616, PAGE 239

DIVISION LINE BETWEEN THE PROPERTY OF JOSEPHINE V.B. NIXON KEENA ON THE EAST AND THE PROPERTY OF THE PEOPLE OF THE STATE OF NEW YORK ON THE WEST

PRESIDENT'S DRIVE



SURVEY CONTROL  
VERTICAL DATUM = NAVD83  
HORIZONTAL DATUM = NAD83

Point	Northing	Easting	Elevation	REBAR & CAP	Description
1	893554.8740	945616.3330	692.70		REBAR & CAP
2	893775.7290	945634.1405	689.97		NAIL
3	893452.4216	945620.7121	694.14		MAGNAIL

NOTE: BOUNDARY AS SURVEYED IS PER NEW YORK STATE DEPARTMENT OF TRANSPORTATION APPROPRIATION MAP NO. 17, PARCEL NO. 17.

NOTE: BEARINGS SHOWN ARE REFERENCED PER NEW YORK STATE DEPARTMENT OF TRANSPORTATION APPROPRIATION MAP NO. 17, PARCEL NO. 17.

NOTE: PARCEL IS SUBJECT TO A SANITARY EASEMENT TO THE VILLAGE OF FREDONIA PER NEW YORK STATE DEPARTMENT OF TRANSPORTATION APPROPRIATION MAP NO. 17, PARCEL NO. 17 AND RECORDED ON AUGUST 18, 1938 IN LIBER 642 AT PAGE 143. (NOT PLOTTABLE)

DI #2001 RM=689.31  
INV 8" CUP S=687.12

DI #2002 RM=689.32  
INV 8" CUP S=686.32

DI #2003 RM=689.33  
INV 8" CUP S=686.32

DI #2004 RM=689.34  
INV 8" CUP S=686.32

DI #2005 RM=689.35  
INV 8" CUP S=686.32

DI #2006 RM=689.36  
INV 8" CUP S=686.32

DI #2007 RM=689.37  
INV 8" CUP S=686.32

DI #2008 RM=689.38  
INV 8" CUP S=686.32

DI #2009 RM=689.39  
INV 8" CUP S=686.32

DI #2010 RM=689.40  
INV 8" CUP S=686.32

DI #2011 RM=689.41  
INV 8" CUP S=686.32

DI #2012 RM=689.42  
INV 8" CUP S=686.32

CENTRAL AVENUE (66' WIDE)

FOR REFERENCE  
ONLY, NOT TO SCALE

UTILITIES CONTACTED:  
CITY OF DUNKIRK 716-366-9835  
DUNKIRK & FREDONIA TELEPHONE COMPANY 716-673-3039  
GAS SECURE INTEGRATION LLC 518-362-6060  
NATIONAL FUEL GAS / DUNKIRK / SOUTH 716-857-7431  
NATIONAL GRID / WEST / ELECTRIC 315-428-6319  
NYS THRUWAY AUTHORITY / BUFFALO 716-635-6224  
TIME WARNER CABLE / JIMSTON A 317-575-7800 x2  
TIME WARNER CABLE / WESTFIELD 317-575-7800 x2  
TOWN OF DUNKIRK 716-366-3041  
VERIZON / BUFFALO 716-840-6165  
VILLAGE OF FREDONIA 716-678-2304

NOTE: UNITS USED TO PREPARE THIS MAP ARE BASED ON THE U.S. SURVEY FOOT.

NOTE: THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

NOTE: WHEN ANY DESIGN OR RECONSTRUCTION INVOLVES A NEW CONNECTION TO EXISTING STORM OR SANITARY STRUCTURE AS SHOWN ON THIS DRAWING IT IS STRONGLY ADVISED THAT THE ENGINEER OR ARCHITECT CONTACT THE APPROPRIATE OPERATING AUTHORITY TO VERIFY THAT THE STRUCTURE BEING CONNECTED TO IS APPROPRIATE FOR ANY SUCH STORM OR SANITARY CONNECTION PRIOR TO PROCEEDING WITH DESIGN.

THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE AND IS SUBJECT TO ANY STATEMENT OF FACTS THAT MAY BE REVEALED BY AN EXAMINATION OF SUCH.

WARNING: ALTERING THIS DOCUMENT IS IN VIOLATION OF THE LAW EXCEPTING AS PROVIDED IN SECTION 7209, PART 2 OF THE NEW YORK STATE EDUCATION LAW.

ALL UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE. BEFORE YOU DIG, DRILL, OR BLAST, CALL DIG SAFELY NEW YORK AT 1-800-962-7962

DATE OF SURVEY	DATE OF REVISION	COMMENT	INT.
6/27/2019	7/25/2019	ADD TREES, UTILS.	MJC
6/27/2019	12/18/2019	ADDITIONAL UTILITIES	MJC
6/27/2019	6/9/2022	ADD SANITARY AND STORM	MJC
6/27/2019	11/17/2023	REMOVED GEOTHERMAL WELLS AS PER COLLEGE INDICATING THEY WERE NOT INSTALLED	MJC

This map void unless Embossed with New York State Licensed Land Surveyors Seal No. 50510

NO. 194 CENTRAL AVENUE  
SBL NO. 113.06-1-10  
PARCEL AREA = .311± ACRES

TOPOGRAPHIC SURVEY  
PART OF LOT 15, TWP 6, RGE 12  
OF THE HOLLAND LAND COMPANY'S SURVEY  
VILLAGE OF FREDONIA ~ TOWN OF POMFRET  
COUNTY OF CHAUTAUKA ~ STATE OF NEW YORK

FRANDINA ENGINEERING AND LAND SURVEYING, PC  
CIVIL ENGINEERS AND LAND SURVEYORS

1701 Hertel Avenue  
Buffalo, New York 14216  
www.FRANDINA.com  
Phone: (716) 883-1299  
Fax: (716) 883-1274

DATE: 6/27/2019 SHEET: 1 OF 1 DWN BY: M. CHILDS  
JOB NO.: 3749-1 SCALE: 1" = 20' CHK'D BY: RF

Rosanne Frandina, PE, LS

1. REFER TO PROJECT SPECIFICATIONS FOR ADDITIONAL PROJECT REQUIREMENTS AND COORDINATE WITH PROJECT DRAWINGS.
2. THE CONTRACTOR SHALL USE THE WRITTEN DIMENSIONS PROVIDED WITHIN THE CONTRACT DRAWINGS. SCALED DIMENSIONS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES.
3. THE CONTRACTOR SHALL CONTACT OWNER'S REPRESENTATIVE IMMEDIATELY IF CLARIFICATION OR INTERPRETATION OF THE CONTRACT DOCUMENTS, OR ANY OTHER ASPECTS OF THE PROJECT, IS REQUIRED.
4. LEGEND REPRESENTS STANDARD LINE TYPES AND HATCHING UNLESS INDICATED ON SPECIFIC DRAWINGS.
5. THE ABBREVIATIONS AND SYMBOLS HEREIN ARE STANDARD OF THIS OFFICE AND APPLY TO A VARIETY OF PROJECTS. ONLY A PORTION OF THEM WILL NECESSARILY APPLY TO ANY GIVEN PROJECT. SEE THE LISTINGS IN OTHER SECTIONS OF THIS PROJECT FOR ADDITIONAL SYMBOLS AND ABBREVIATIONS.
6. EDR IS NOT RESPONSIBLE FOR SITE SECURITY AND SAFETY, OR CONSTRUCTION MEANS AND METHODS.
7. EDR IS NOT RESPONSIBLE FOR THE SEQUENCING OF CONSTRUCTION UNLESS A SEQUENCE OF CONSTRUCTION IS PROVIDED IN THE CONTRACT DOCUMENTS.

1. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS, PAY ALL FEES REQUIRED BY GOVERNING AGENCIES HAVING JURISDICTION OVER THE FACILITIES AND NATURAL FEATURES FOUND ON SITE, AND FURNISH COPIES TO THE OWNER PRIOR TO COMMENCING WORK.
2. SITE ACCESS IS RESTRICTED TO THE LOCATIONS SPECIFICALLY DESIGNATED ON THE ATTACHED SITE PLAN.
3. THE CONTRACTOR SHALL ADHERE TO ALL OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA), STATE AND LOCAL SAFETY REGULATIONS.
4. CONTRACTOR SHALL PROMPTLY REPORT TO THE OWNER'S REPRESENTATIVE ANY DISCREPANCIES FOUND ON THE SITE OR IN THE CONTRACT DOCUMENTS FOR REVIEW AND RESOLUTION BEFORE PROCEEDING WITH THE WORK IN THE AREA IN QUESTION. PROVIDE FIELD INFORMATION SPECIFIC TO THE DISCREPANCY TO EXPEDITE RESOLUTION.
5. THE BOUNDARY AND TOPOGRAPHIC SURVEY INFORMATION SHOWN ON THIS PLAN WAS PREPARED BY FRANDINE ENGINEERING AND LAND SURVEYING, PC AND DATED 05/27/2019, 07/25/2019, 12/18/2019, 06/09/2022, AND 11/17/2023.
11. NO SUBSURFACE SOIL INFORMATION WAS OBTAINED ON THIS SITE FOR THIS CONSTRUCTION.
12. THE START OF ANY ON-SITE CONSTRUCTION INCLUDING STRIPPING TOPSOIL, REMOVING CUT OR PLACING FILL MATERIAL ESTABLISHES THAT THE CONTRACTOR ACCEPTS THE CONTRACT DOCUMENTS AS ACCURATELY REPRESENTING THE EXISTING SITE CONDITIONS.
13. DURING SALVAGE OPERATIONS FOR MATERIAL INTENDED FOR REUSE ON SITE, MATERIAL MAY BE DAMAGED AND OR NOT SUITABLE FOR REUSE. THE CONTRACTOR SHALL DETERMINE QUANTITY AND QUALITY OF SALVAGED MATERIAL AND NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DEFICIENCIES.
14. ALL FACILITIES TO BE CONSTRUCTED OR INSTALLED SHALL COMPLY WITH ALL SECTIONS AND LATEST REVISIONS OF THE REQUIREMENTS OF ALL AGENCIES OF GOVERNMENT HAVING JURISDICTION.
15. LONG LEAD AND SCARCE MATERIALS SHALL BE ORDERED IN A TIMELY MANNER TO PREVENT AVOIDABLE CONSTRUCTION DELAYS.
16. THE CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE CAUSED BY CONSTRUCTION TO EXISTING UTILITIES AND FACILITIES WHICH ARE NOT INCLUDED AS PART OF THE INSTALLED WORK. THE CONTRACTOR SHALL REPAIR, RESTORE AND/OR REPLACE ALL DAMAGE TO THE SATISFACTION OF OWNER'S REPRESENTATIVE AT NO ADDITIONAL COST TO THE OWNER.
17. ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO A CONDITION EQUAL TO THAT WHICH EXISTED PRIOR TO CONSTRUCTION IN ACCORDANCE WITH SPECIFICATIONS.
18. THE CONTRACTOR SHALL RESTORE ALL DISTURBED SURFACES TO ORIGINAL OR BETTER CONDITION INCLUDING 6 INCHES OF TOPSOIL, SEED, FERTILIZER, AND MULCH. OTHER SURFACES SHALL BE RESTORED AS SHOWN ON THE DETAILS.
19. CONTRACTOR SHALL PROVIDE POSITIVE SITE DRAINAGE DURING CONSTRUCTION OF ALL AREAS. ALL DRAIN LINES AND GRADES SHALL BE CONSTRUCTED TO MAINTAIN POSITIVE SITE DRAINAGE TO EXISTING DRAINAGE STRUCTURES.
20. ALL PAVEMENT SHALL BE SAW CUT PRIOR TO RESTORATION.
21. CONTRACTOR SHALL COORDINATE STAGING AREAS WITH OWNER.
22. WHILE EVERY EFFORT HAS BEEN MADE TO IDENTIFY THE ITEMS TO BE DEMOLISHED, IT IS CONTRACTOR'S RESPONSIBILITY TO REVIEW THE SCOPE OF WORK IN THE FIELD, REVIEW THESE CONTRACT DRAWINGS, ALL PREVIOUS CONSTRUCTION DRAWINGS & DOCUMENTS AND THE DEVELOPMENT SPECIFICATIONS, THE EXISTING FACILITY PLANS, AND DEMOLISH ALL ITEMS NEEDED TO ACCOMMODATE THE PROPOSED WORK. THE CONTRACTOR SHALL ALSO REPAIR ALL SURFACES AND PLUG ABANDONED PENETRATIONS UPON REMOVAL OF THE DEMOLISHED ITEMS PER THE SPECIFICATIONS.
23. CONTRACTOR SHALL VISIT AND EXAMINE THE SITE TO FULLY UNDERSTAND ALL THE CONDITIONS PERTAINING TO THE SCOPE OF WORK, UNDERSTAND DIFFICULTIES TO BE ENCOUNTERED AND MATERIALS REQUIRED FOR THE COMPLETE INSTALLATION OF THE WORK SHOWN ON THE DRAWINGS AND OR SPECIFIED AT NO ADDITIONAL COST TO THE OWNER. THE EXACT LOCATION OF THE EXISTING PIPING, EQUIPMENT, SERVICES, CONDITIONS, ETC. SHALL BE FIELD VERIFIED. THE EXISTING SIZE OF PIPING, EQUIPMENT, ETC. SHALL BE FIELD VERIFIED. ALL PIPING AND EQUIPMENT ELEVATIONS SHOWN OR SPECIFIED SHALL BE FIELD VERIFIED. CONTRACTOR SHALL MODIFY LAYOUT WITH THE APPROVAL OF THE ENGINEER WHERE REQUIRED TO CLEAR OBSTRUCTIONS AT NO ADDITIONAL COST TO THE OWNER.
24. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS AND MAKE ALL NECESSARY PROVISIONS FOR PROTECTION OF THE PUBLIC, THE WORKMEN AND THE WORK, AND FOR MAINTENANCE AND PROTECTION OF PEDESTRIAN AND VEHICULAR TRAFFIC AS REQUIRED BY THE AGENCIES OF GOVERNMENT HAVING JURISDICTION.
25. PROMPTLY REPORT TO THE OWNER'S REPRESENTATIVE ANY DISCREPANCIES FOUND ON THE SITE OR IN THE CONTRACT DOCUMENTS FOR REVIEW AND RESOLUTION BEFORE PROCEEDING WITH THE WORK IN THE AREA IN QUESTION. PROVIDE FIELD INFORMATION SPECIFIC TO THE DISCREPANCY TO EXPEDITE RESOLUTION.
26. LOCATE, PROTECT, AND MAINTAIN BENCHMARKS, MONUMENTS, CONTROL POINTS AND PROJECT ENGINEERING REFERENCE POINTS.
27. COMPLY WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS REGARDING MATERIALS, METHODS OF WORK AND DISPOSAL OF EXCESS AND WASTE MATERIALS.
28. BURNING OF MATERIALS OF ANY DESCRIPTION ON THE SITE IS PROHIBITED.
29. PRIOR TO PERFORMING ANY EXCAVATION WITHIN THE CONSTRUCTION AREA, CONFIRM WITH DIG SAFELY NEW YORK AT 1-800-952-7962 THAT ALL EXISTING UNDERGROUND UTILITY LOCATIONS ARE CURRENTLY VERIFIED, OR ARRANGE FOR VERIFICATION.

1. EXISTING UTILITIES (PIPE/STRUCTURE LOCATIONS, SIZES, AND INVERT ELEVATIONS) SHOWN ON THESE PLANS HAVE BEEN PLOTTED FROM FIELD SURVEYS AND RECORDED MAPS AND SHALL BE INTERPRETED AS APPROXIMATE ONLY. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING AND FIELD VERIFYING ALL EXISTING INFORMATION AT ALL LOCATIONS IN CLOSE PROXIMITY TO THE UTILITIES AND WORK UNDER CONSTRUCTION. THIS INFORMATION INCLUDES BUT IS NOT LIMITED TO EXISTING PIPE AND STRUCTURE SIZES, PIPE AND STRUCTURE LOCATIONS, PIPE SLOPES, STRUCTURE RIM AND INVERT ELEVATIONS, PIPE MATERIALS AND PIPE CONDITIONS. THIS SHALL INCLUDE PIPE INVERTS, MATERIALS AND SIZES FOR UTILITIES CONNECTING TO DOWNSYSTEM STRUCTURES. THIS VERIFICATION SHALL BE COMPLETED PRIOR TO THE COMMENCEMENT OF SHOP DRAWING SUBMITTALS, ORDERING OF MATERIALS, AND THE START OF ANY REMOVALS FOR THIS PROJECT. ANY PROPOSED MODIFICATIONS TO THE DESIGN SHALL BE SUBMITTED AS SHOP DRAWINGS INCLUDING BUT NOT LIMITED TO DESIGN DRAWINGS AND UTILITY PROFILES INCLUDING PIPE AND STRUCTURE LAYOUT, STRUCTURE RIM AND INVERT ELEVATIONS, AND PIPE SIZES, MATERIALS AND SLOPES.

- THE OWNER'S REPRESENTATIVE SHALL REVIEW THE LAYOUT OF ALL PAVEMENTS, UTILITIES, AND PLANTINGS IN THE FIELD BEFORE INSTALLATION. THE CONTRACTOR SHALL SCHEDULE ADVANCED NOTIFICATION TO THE OWNER'S REPRESENTATIVE TO FACILITATE TIMELY REVIEW.
3. THE OWNER ONLY SHALL OPERATE EXISTING VALVES AND FIRE HYDRANTS, INCLUDING NEWLY INSTALLED VALVES AND FIRE HYDRANTS THAT HAVE BEEN PLACED INTO SERVICE. THE CONTRACTOR IS ADVISED THAT WATER TIGHT CONDITIONS MAY NOT EXIST WHEN EXISTING VALVES ARE CLOSED.
4. THE CONTRACTOR SHALL NOTIFY THE OWNER OF ANY UTILITY POLE IN ADVANCE OF ANY EXCAVATION WORK THAT WILL TAKE PLACE WITHIN 5' OF THE UTILITY POLE. THE CONTRACTOR SHALL INCLUDE THE COST OF TEMPORARY POLE SUPPORT IN THE APPROPRIATE BID ITEM. WHERE UTILITY POLES ARE REQUIRED TO BE SUPPORTED DURING CONSTRUCTION, THE CONTRACTOR SHALL MAKE ALL NECESSARY ARRANGEMENTS WITH THE UTILITY COMPANY.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERAERING AND MAINTENANCE OF SURFACE WATER AND/OR GROUNDWATER ENCOUNTERED DURING THE COURSE OF WORK.
6. PRIOR TO START OF WORK, THE CONTRACTOR SHALL PROVIDE EXPLORATORY EXCAVATIONS AND COORDINATE ALL PIPING LAYOUTS WITH THE OWNER'S REPRESENTATIVE TO ELIMINATE ALL CONFLICTS WITH EXISTING UTILITIES.
7. THE USE OF EXPLOSIVES OF ANY DESCRIPTION ON THE SITE IS PROHIBITED.
8. CONSTRUCTION DEBRIS AND DEMOLISHED MATERIALS SHALL BE REMOVED FROM THE SITE AT REGULAR INTERVALS AS DETERMINED BY THE OWNER'S REPRESENTATIVE AND SHALL NOT BE ALLOWED TO ACCUMULATE. EMPLOY APPROPRIATE MEASURES TO PREVENT LOOSE DEBRIS FROM LEAVING THE CONSTRUCTION AREA.
9. THE CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE CAUSED BY CONSTRUCTION TO EXISTING UTILITIES AND FACILITIES WHICH ARE NOT INCLUDED AS PART OF THE INTENT AND SCOPE OF THE CONTRACTOR'S OBLIGATION TO REPAIR, RESTORE AND/OR REPLACE ALL DAMAGE TO THE SATISFACTION OF UTILITY'S REPRESENTATIVE AT NO ADDITIONAL COST TO THE OWNER.
10. PERFORM WORK AND PROVIDE ALL MATERIALS NECESSARY TO DISCONNECT OR RELOCATE EXISTING UTILITIES. COORDINATE WITH THE RESPECTIVE UTILITY COMPANIES FOR SHUTOFF AND RECONNECTION OF ACTIVE SERVICES. RECORD EXISTING UTILITY TERMINATION POINTS BEFORE DISCONNECTION.
11. ADJUST THE RIM ELEVATIONS OF EXISTING UTILITY STRUCTURES SCHEDULED TO REMAIN WITH THE FINISHED GRADE ELEVATIONS.
12. THE CONTRACTOR SHALL MAINTAIN EXISTING SANITARY SEWER AND WATER SERVICES AT ALL TIMES, EXCEPT DURING APPROVED AND SCHEDULED INTERRUPTIONS. THE CONTRACTOR SHALL SUBMIT A PROPOSED WORK SCHEDULE AND A DETAILED SANITARY SEWER BY-PASS PROCEDURE TO THE OWNER'S REPRESENTATIVE FOR APPROVAL. THE CONTRACTOR SHALL RESTORE GRAVITY SANITARY SEWER SERVICE AT THE END OF EACH WORKDAY. SHOULD THIS NOT BE POSSIBLE, THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TEMPORARY BY-PASS PIPE OPERATIONS UNTIL A NORMAL GRAVITY FLOW CAN BE RE-ESTABLISHED AT NO ADDITIONAL COST TO THE OWNER.
13. ALL STRUCTURES SHALL MEET THE AMERICAN ASSOCIATION OF STATE HIGHWAY & TRANSPORTATION OFFICIALS (AASHTO) H20 LOADING REQUIREMENTS.
14. ALL NEW UTILITY LATERALS SHALL BE INSTALLED WITH A MINIMUM 1/4" PER FOOT SLOPE.
15. ALL CATCH BASIN GRATES SHALL INCLUDE THE LETTERING, "NO DUMPING".
16. ALL EXISTING DRAINAGE FACILITIES SHALL BE MAINTAINED FREE OF DEBRIS AND FOREIGN MATTER AND BE IN OPERATION THROUGHOUT CONSTRUCTION.
17. ALL PROPOSED WATER MAIN PIPING SHALL BE INSTALLED WITH A MINIMUM OF 5-FOOT OF COVER.
18. THE CONTRACTOR SHALL COORDINATE DIRECTLY WITH THE OWNER FOR THE WYE DIRECTION (UPSTREAM OR DOWNSTREAM), FOR STORM AND SANITARY SYSTEMS BASED ON THE OWNER'S INFRASTRUCTURE REQUIREMENTS.
19. DISTANCES SHOWN ON PIPING ARE HORIZONTAL DISTANCES FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE, UNLESS OTHERWISE NOTED.
20. THE CONTRACTOR IS RESPONSIBLE FOR HANDLING, CUTTING AND DISPOSAL OF ALL ASBESTOS CEMENT (AC) PIPE TO BE REMOVED OR CUT IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS.

1. AVOID ANY DISTURBANCE OF EXISTING VEGETATION ON THE SITE EXCEPT THE VEGETATION SPECIFICALLY DESIGNATED TO BE REMOVED.
2. TAKE ALL PRECAUTIONS NECESSARY TO PREVENT EROSION AND CONTROL SEDIMENTATION AS REQUIRED BY THE AGENCIES OF GOVERNMENT HAVING JURISDICTION.
3. THIS PROJECT DOES NOT REQUIRE COVERAGE UNDER THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION (NYSDEC) STATE POLLUTANT DISCHARGE ELIMINATION SYSTEM (SPDES) GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES, PERMIT NO. GP-0-20-001 (GENERAL PERMIT). THE GENERAL PERMIT AUTHORIZES STORMWATER DISCHARGES TO SURFACE WATERS OF THE STATE FROM CONSTRUCTION RELATED ACTIVITIES.
4. TOP DRESS, SEED, AND MULCH ALL LAWN AREAS DISTURBED BY THE CONSTRUCTION AS SOON AS THE FINISHED GRADING OPERATION IS COMPLETED.
5. MAINTAIN AN ADEQUATE SUPPLY OF EROSION AND SEDIMENT CONTROL MATERIALS AT THE CONSTRUCTION SITE AT ALL TIMES TO BE USED FOR URGENT SITUATIONS, SUCH AS UNEXPECTED HEAVY RAINFALL.
6. MAINTENANCE AND REPAIR OF ALL EQUIPMENT AND VEHICLES INVOLVING OIL CHANGES, HYDRAULIC SYSTEM AND FUEL TANK DRAIN DOWN, DEGREASING OPERATIONS AND OTHER ACTIVITIES THAT MAY RESULT IN THE ACCIDENTAL RELEASE OF CONTAMINANTS MUST BE CONDUCTED OFF-SITE. ACCIDENTAL SPILLS MUST BE CLEANED UP IMMEDIATELY AND CONTAMINANTS DISPOSED OF PROPERLY.
7. THE CONTRACTOR SHALL ULTIMATELY BE RESPONSIBLE FOR LOCATING SOIL AND THE INCORPORATED EARTH STOCKPILES AT A STABLE LOCATION. STOCKPILES SHALL BE STABILIZED PER THE DETAIL.
8. CONSTRUCTION ROUTES SHALL BE STABILIZED PER THE NYS STANDARDS FOR EROSION AND SEDIMENT CONTROL, AS NECESSARY BASED ON SITE CONDITIONS.
9. THE CONTRACTOR IS RESPONSIBLE FOR THE PLACEMENT, DESIGN, APPROVAL, AND OPERATION OF THE CONCRETE WASHOUTS. THE CONCRETE WASHOUTS SHALL BE INSTALLED A MINIMUM OF 50' FROM STORM DRAINAGE OR SURFACE WATER. CONCRETE WASTE MATERIAL SHALL NOT BE ALLOWED TO ESCAPE FROM THE CONCRETE WASHOUT.
10. SOLID WASTE SHALL BE STORED IN COVERED DUMPSTERS OR OTHER APPROPRIATE CONTAINERS. WASTE IS TO BE DISPOSED OF REGULARLY AND PROPERLY IN ACCORDANCE WITH LOCAL, STATE, AND/OR FEDERAL REGULATIONS.
11. THE EROSION AND SEDIMENT CONTROLS ARE SHOWN FOR A CONDITION WHEN ALL WORK IS OCCURRING SIMULTANEOUSLY. ACTUAL INSTALLATIONS SHALL BE ADJUSTED BASED ON CURRENT CONSTRUCTION ACTIVITY AND SITE CONDITIONS.

AL	ALUMINUM	DIM	DIMENSION	ID	INSIDE DIAMETER
ACT	ACTUAL	DIA	DIAMETER	IN	INCH/INCHES
APPR	APPROXIMATE/	DMH	DROP MANHOLE	INLT	INLET
	APPROXIMATELY	DWG	DRAWING	INV	INVERT
BC	BOTTOM OF CURB	E	EAST	IP	IRON PIPE
BLDG	BUILDING	EA	EACH		
BM	BENCHMARK	EJ	EXPANSION JOINT	JB	JUNCTION BOX
BOS	BOTTOM OF SLOPE	EL	ELEVATION		
BS	BOTTOM OF STAIR	EQ	EQUAL	LA	LENGTH/LONG
BW	BOTTOM OF WALL	ES	END SECTION	LA	LANDSCAPE ARCHITECT
B&B	BALLED AND BURLAPPED	EX	EXISTING	LAT	LATITUDE
		EXP	EXPANSION	LF	LINEAR FEET
CAL	CALIPER			LFT	LEFT
CB	CATCH BASIN	FFE	FINISHED FLOOR ELEVATION	LN	LINEAR
CF	CUBIC FEET	FG	FINISHED GRADE	LP	LOW POINT
CI	CAST IRON	FIN	FINISH		
CIP	CAST IN PLACE	FL	FLOOR	M	METER
CIR	CIRCLE/CIRCULAR	FTG	FOOTING	MAX	MAXIMUM
CJ	CONTROL JOINT	FT	FOOT/FEET	MH	MANHOLE
CLF	CHAIN/LINK FENCE			MIN	MINIMUM
CLL	CONTRACT LIMIT LINE	GA	GAUGE	MISC	MISCELLANEOUS
CLR	CLEAR	GAL	GALLON	MON	MONUMENT
CLMP	CORRUGATED METAL PIPE	GALV	GALVANIZED		
CO	CLEANOUT	GC	GENERAL CONTRACTOR	N	NORTH
COL	COLUMN	GR	GUARDRAIL	NIC	NOT IN CONTRACT
CONC	CONCRETE	GV	GAS VALVE	NOM	NOMINAL
CONT	CONTAINER			NTS	NOT TO SCALE
CONTR	CONTRACTOR	HOR	HORIZONTAL	NUM	NUMBER
CPVC	CHLORINATED POLYVINYL	HP	HIGH POINT		
	CHLORIDE	HT	HEIGHT	OC	ON CENTER
CE	CYCLE YARDS	HW	HEAD WALL	OCWE	ON CENTER EACH WAY
		HWD	HIGHWAY	OD	OUTSIDE DIAMETER
DET	DETAIL	HYD	HYDRANT	OP	OUTLET PROTECTION

**I-90**

**SUNY FREDONIA  
LANFORD HOUSE  
184 CENTRAL AVE.  
FREDONIA, NY 14063**

**TEMPLE ST**

**CENTRAL AVE**

**FREDONIA**

SUNY FREDONIA

ACADEMIC AVE

PRESIDENT'S DR

SUNY FREDONIA LANFORD HOUSE

CENTRAL AVE

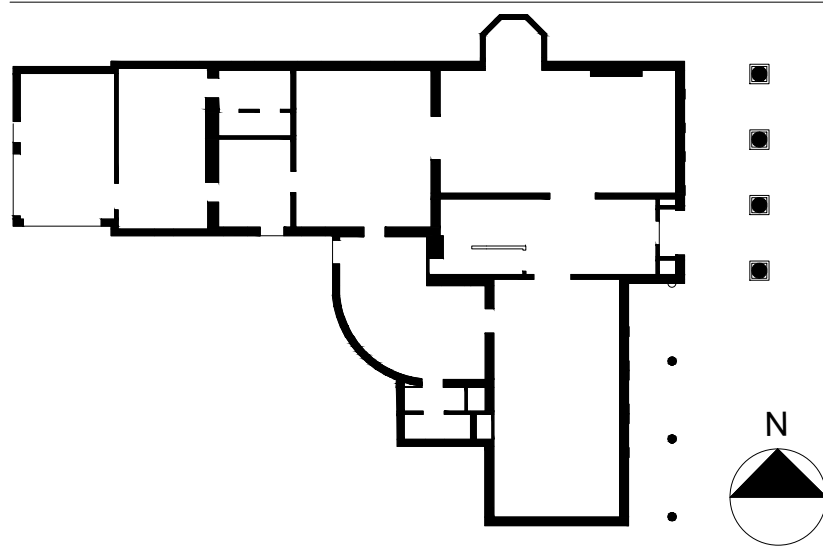
PROJECT AREA

N

100 0 50 100 200

GRAPHIC SCALE (IN FEET)

PA	PLANTING AREA	T	TANGENT
PC	POINT OF CURVATURE	TB	TEST BORING
PL	PROPERTY LINE	TC	TOP OF CURB
PT	POINT OF TANGENT/ PERCOLATION TEST	TCS	TOP OF SLOPE
	LOCATION	TS	TOP OF STAIR
	POLYVINYL CHLORIDE	TW	TOP OF WALL
		TYP	TYPICAL
		T&G	TONGUE AND GROOVE
PVC			
R	RADIUS		
RC	REINFORCED CONCRETE	UD	UNDERDRAIN
REINF	PIPE	USGS	UNITED STATES
REQD	REINFORCING REQUIRED		GEOLOGICAL SURVEY
REV	REVISION	VAC	VARIABLE/VARIABLE
ROW	RIGHT OF WAY	VAR	VITRIFIED CLAY PIPE
RT	RIGHT	VERT	VERTICAL
S	SOUTH	W	WEST
SAN	SANITARY	WE	WATER ELEVATION
SECT	SECTION	WL	WALK LIGHT
SG	SQUARE FOOT	WW	WATER VALVE
SH	SUB GRADE	WWM	WOVEN WIRE MESH
SI	SHEET	W/	WITH
SI	STORM INLET	W/O	WITHOUT
SL	STREET LIGHT		
SPEC	SPECIFICATIONS/ SPECIFIED	YD	YARD DRAIN
SQ	SQUARE	±	CENTER LINE
SS	STAINLESS STEEL	±	PLUS OR MINUS
STA	STATION	Δ	CHANGE IN VALUE
STL	STEEL	<	LESS THAN
SY	SQUARE YARD	>	GREATER THAN



THE REGISTERED PROFESSIONAL  
CERTIFIES THAT THIS PROJECT HAS  
BEEN DESIGNED BY ME, OR UNDER  
MY SUPERVISION, IN ACCORDANCE  
WITH: THE BUILDING CODE OF  
NEW YORK STATE AND THE  
ENERGY CONSERVATION CODE OF  
NEW YORK STATE AND APPLICABLE  
FEDERAL LAWS AND REGULATIONS;  
AND TO THE BEST OF MY  
KNOWLEDGE AND BELIEF, THESE  
CONSTRUCTION DOCUMENTS ARE  
IN CONFORMANCE THEREWITH.

DATE 10/01/2024

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194 CENTRAL AVENUE  
FREDONIA, NEW YORK 14063

100% CONSTRUCTION DOCUMENT SET

Revision Schedule		
Revision Number	Date	Description

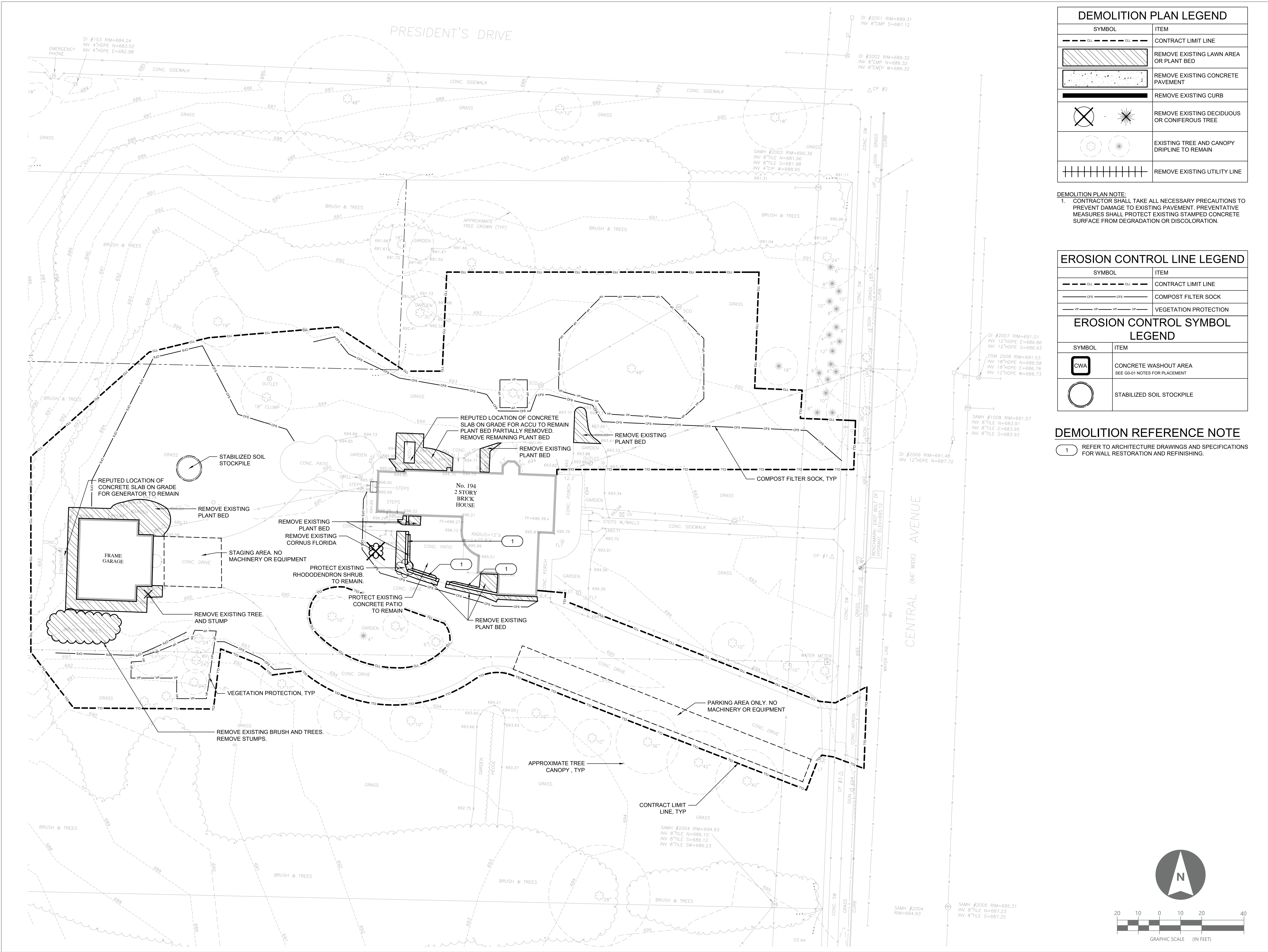
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Project Number: FBA PROJECT #00388.00	Scale: AS SHOWN
Drawn By: AML, JRS	Checked By: MOM,DGP, JCG

## NOTES, ABBREVIATIONS AND LOCATION MAPS

Drawing Number

G0-01



DEMOLITION PLAN LEGEND	
SYMBOL	ITEM
	CONTRACT LIMIT LINE
	REMOVE EXISTING LAWN AREA OR PLANT BED
	REMOVE EXISTING CONCRETE PAVEMENT
	REMOVE EXISTING CURB
	REMOVE EXISTING DECIDUOUS OR CONIFEROUS TREE
	EXISTING TREE AND CANOPY DRIPLINE TO REMAIN
	REMOVE EXISTING UTILITY LINE

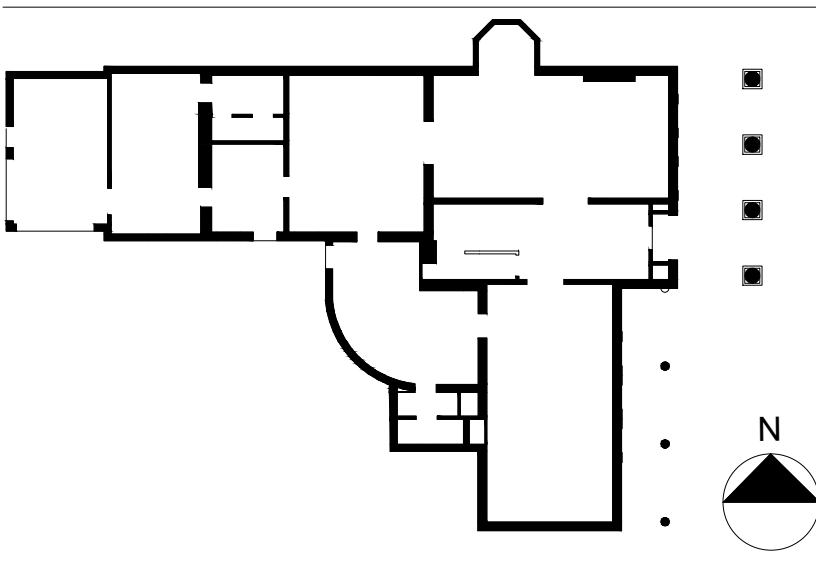
DEMOLITION PLAN NOTE:  
1. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT DAMAGE TO EXISTING PAVEMENT. PREVENTATIVE MEASURES SHALL PROTECT EXISTING STAMPED CONCRETE SURFACE FROM DEGRADATION OR DISCOLORATION.

EROSION CONTROL LINE LEGEND	
SYMBOL	ITEM
	CONTRACT LIMIT LINE
	COMPOST FILTER SOCK
	VEGETATION PROTECTION

EROSION CONTROL SYMBOL LEGEND	
SYMBOL	ITEM
	CONCRETE WASHOUT AREA SEE 00-01 NOTES FOR PLACEMENT
	STABILIZED SOIL STOCKPILE

DEMOLITION REFERENCE NOTE  
1. REFER TO ARCHITECTURE DRAWINGS AND SPECIFICATIONS FOR WALL RESTORATION AND REFINISHING.

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REGISTERED LANDSCAPE ARCHITECT  
JENNIFER CHARENZA GARDINO  
001474  
STATE OF NEW YORK

DATE 10/01/2024

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PROJECT NO. 051037  
LANFORD REHAB  
PHASE II EXTERIOR  
194 CENTRAL AVENUE  
FREDONIA, NEW YORK 14063

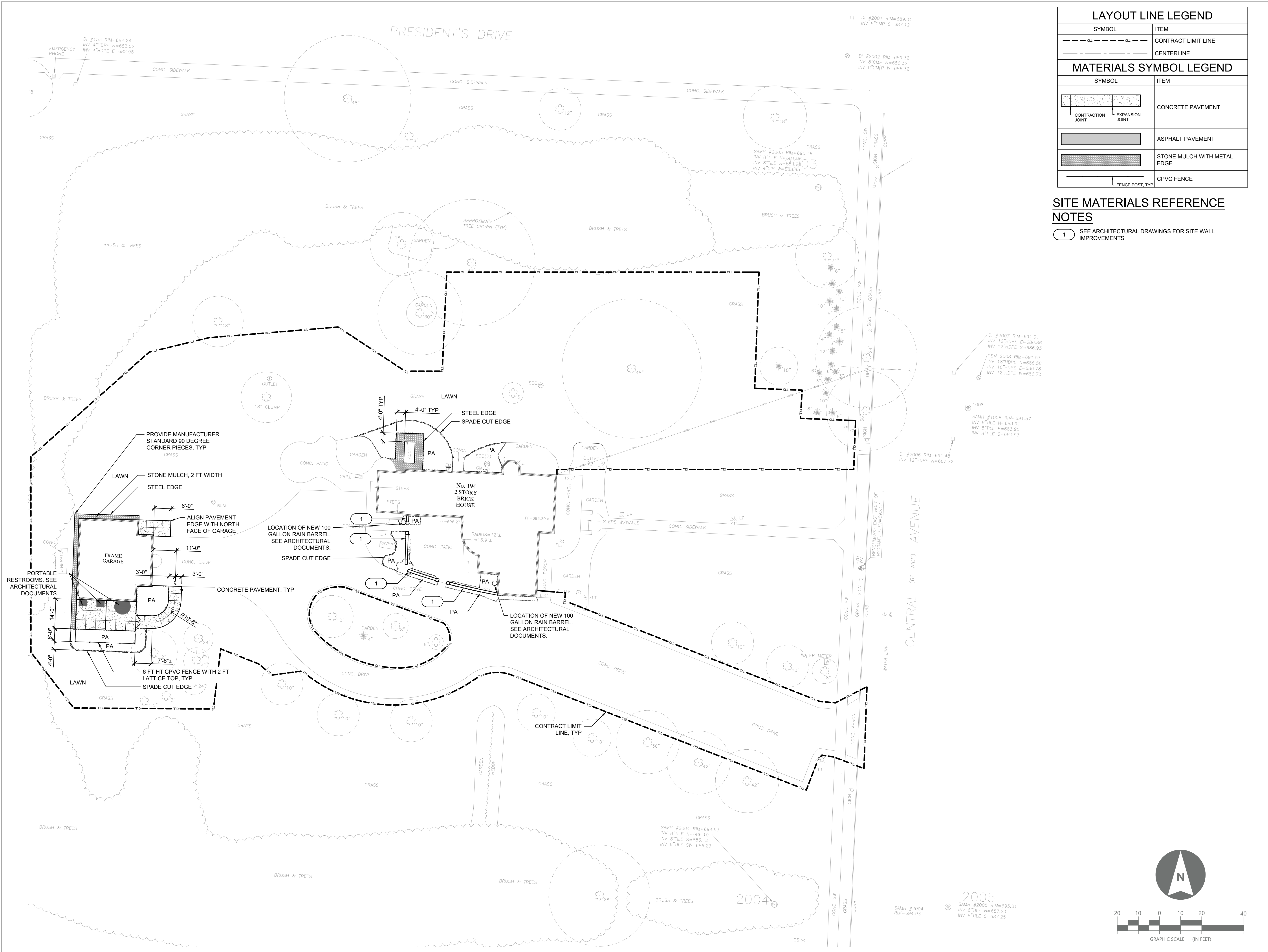
100% CONSTRUCTION DOCUMENT SET		
Revision Schedule		
Revision Number	Date	Description

DRAWING ISSUED: 10/01/2024

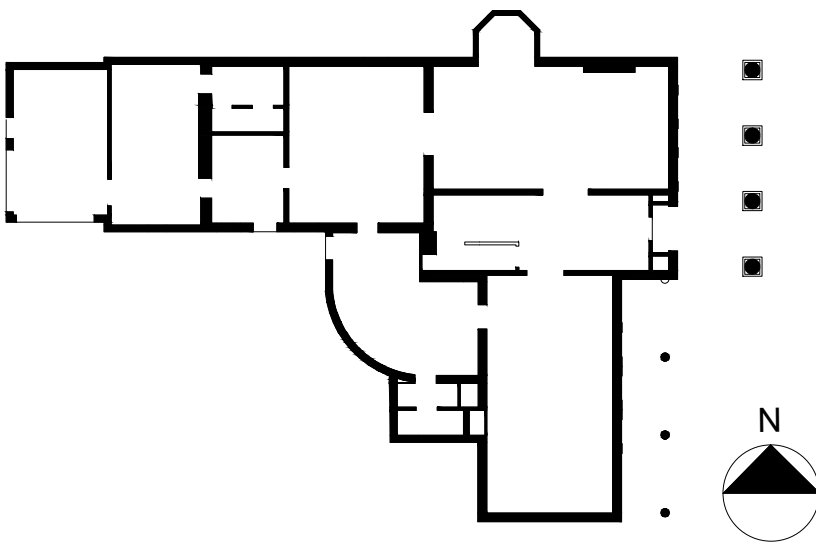
Project Number: FBA PROJECT #00388.00	Scale: AS SHOWN
Drawn By: AML, JRS	Checked By: MOM,DGP, JCG

Drawing Title  
DEMOLITION, SEDIMENT AND EROSION CONTROL PLAN

Drawing Number  
C0-01



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**PROJECT NO. 051037**  
**LANFORD REHAB**  
**PHASE II EXTERIOR**  
**194 CENTRAL AVENUE**  
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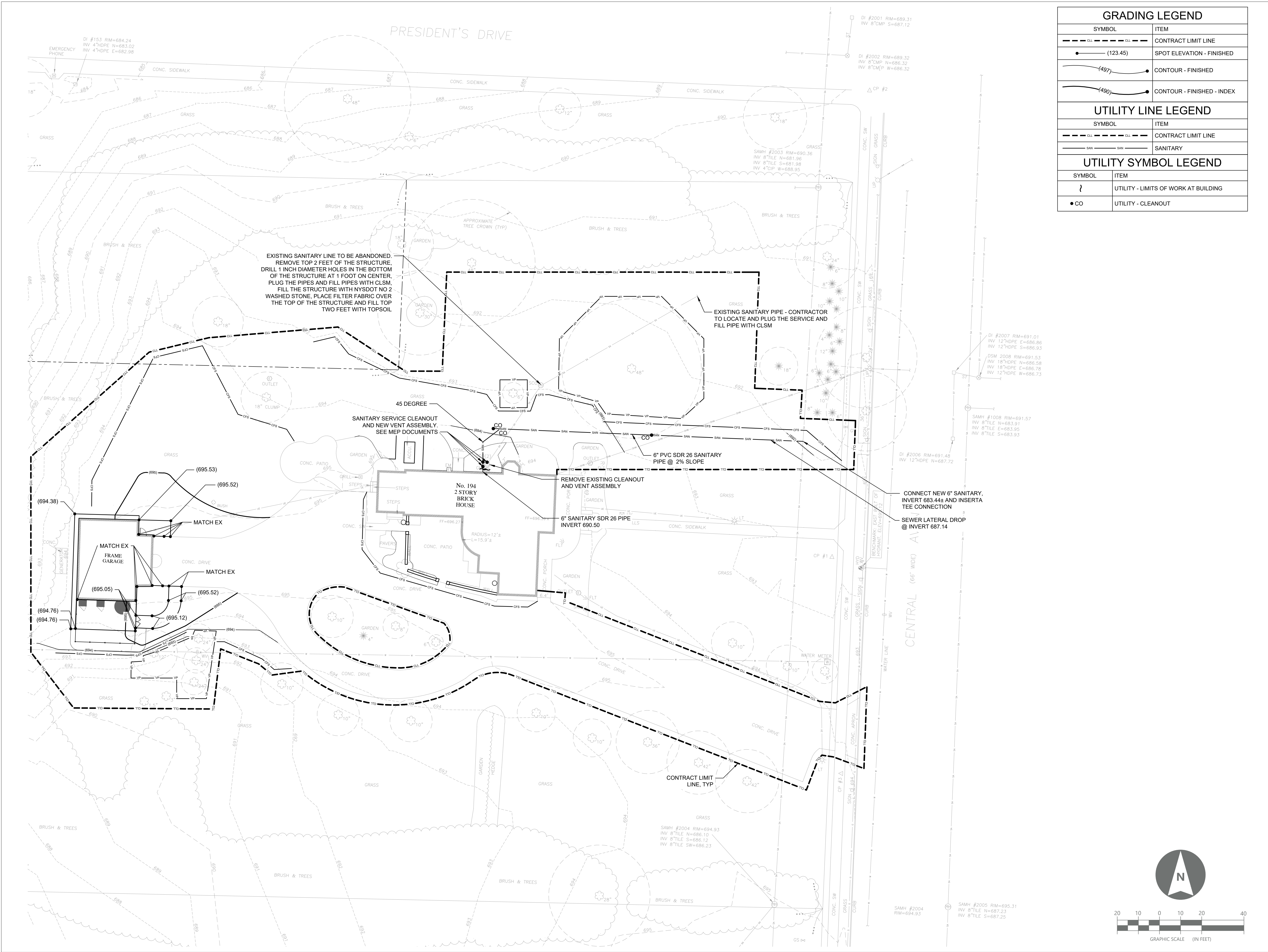
Revision Schedule		
Revision Number	Date	Description

**DRAWING ISSUED:** 10/01/2024

<b>Project Number:</b> FBA PROJECT #00388.00	<b>Scale:</b> AS SHOWN
<b>Drawn By:</b> AML, JRS	<b>Checked By:</b> MOM,DGP, JCG

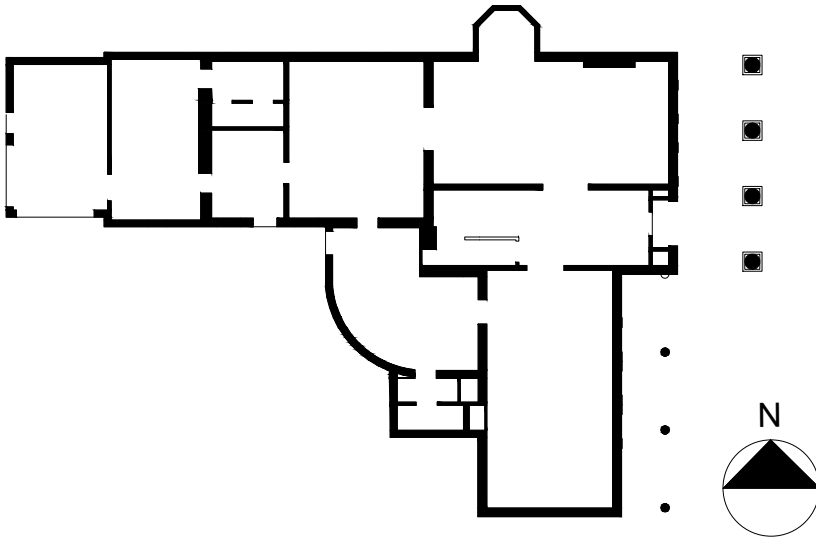
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**MATERIALS AND LAYOUT PLAN**

**Drawing Number**  
**C1-01**



GRADING LEGEND	
SYMBOL	ITEM
	CONTRACT LIMIT LINE
	SPOT ELEVATION - FINISHED
	CONTOUR - FINISHED
	CONTOUR - FINISHED - INDEX
UTILITY LINE LEGEND	
SYMBOL	ITEM
	CONTRACT LIMIT LINE
	SANITARY
UTILITY SYMBOL LEGEND	
SYMBOL	ITEM
	UTILITY - LIMITS OF WORK AT BUILDING
	UTILITY - CLEANOUT

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LANFORD REHAB  
PHASE II EXTERIOR  
194 CENTRAL AVENUE  
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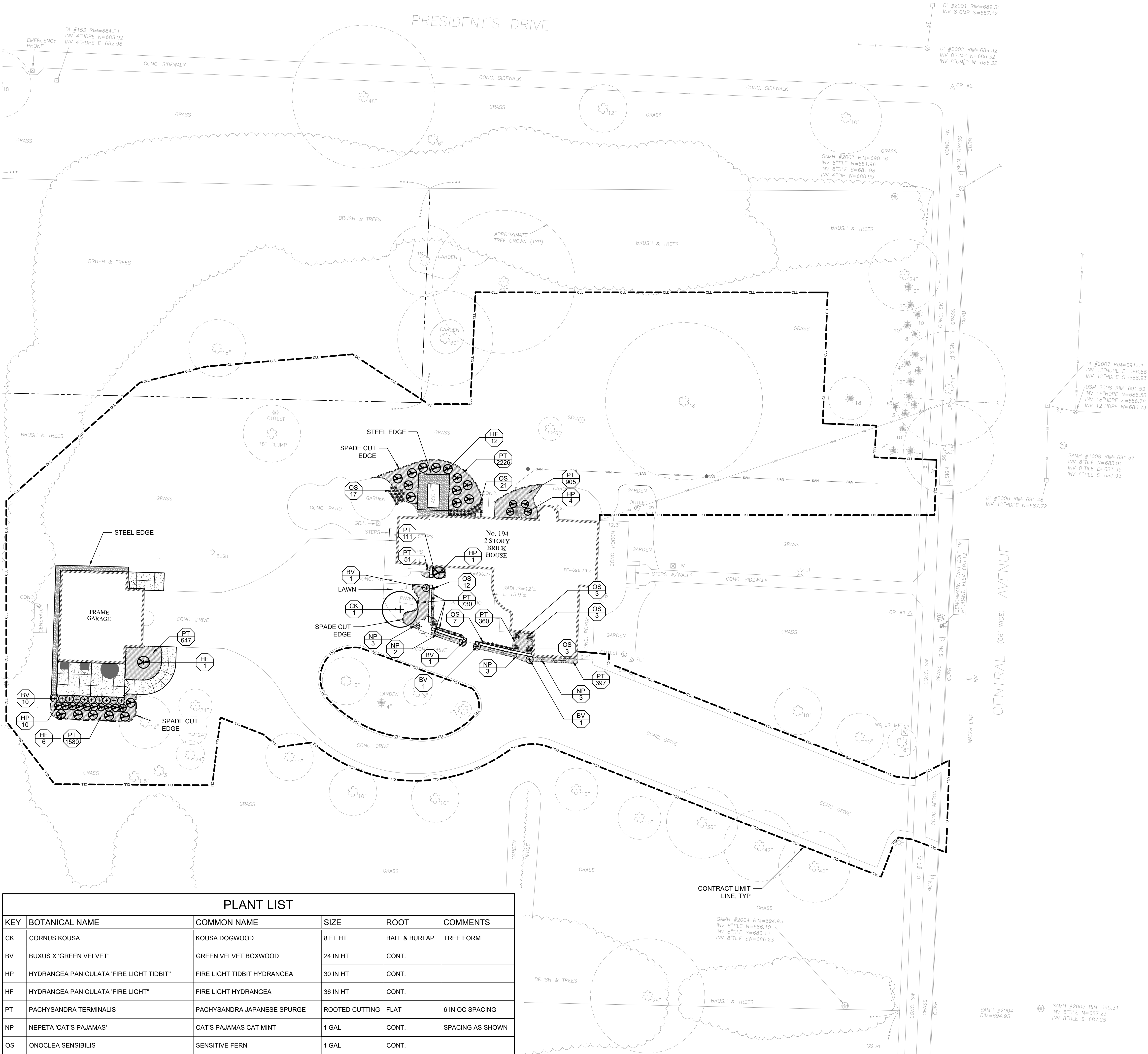
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Revision Number	Date	Description

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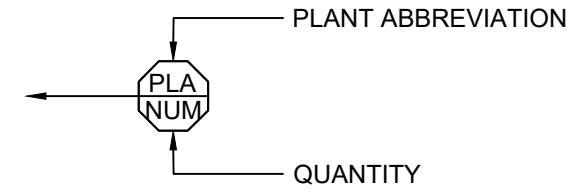
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GRADING, UTILITIES AND  
EROSION & SEDIMENT CONTROL  
PLAN

Drawing Number  
C3-01

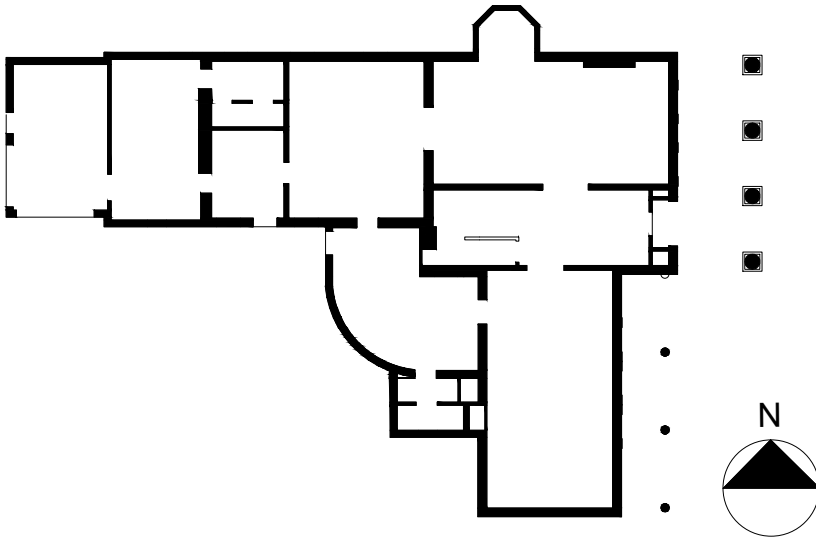


PLANTING LINE LEGEND	
SYMBOL	ITEM
	CONTRACT LIMIT LINE
	SPADE CUT EDGE

PLANT IDENTIFICATION KEY



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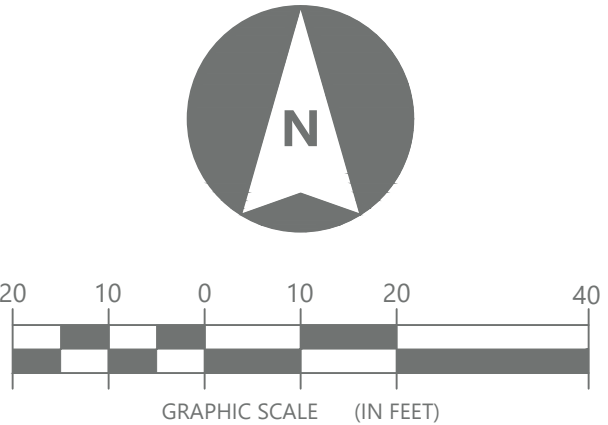
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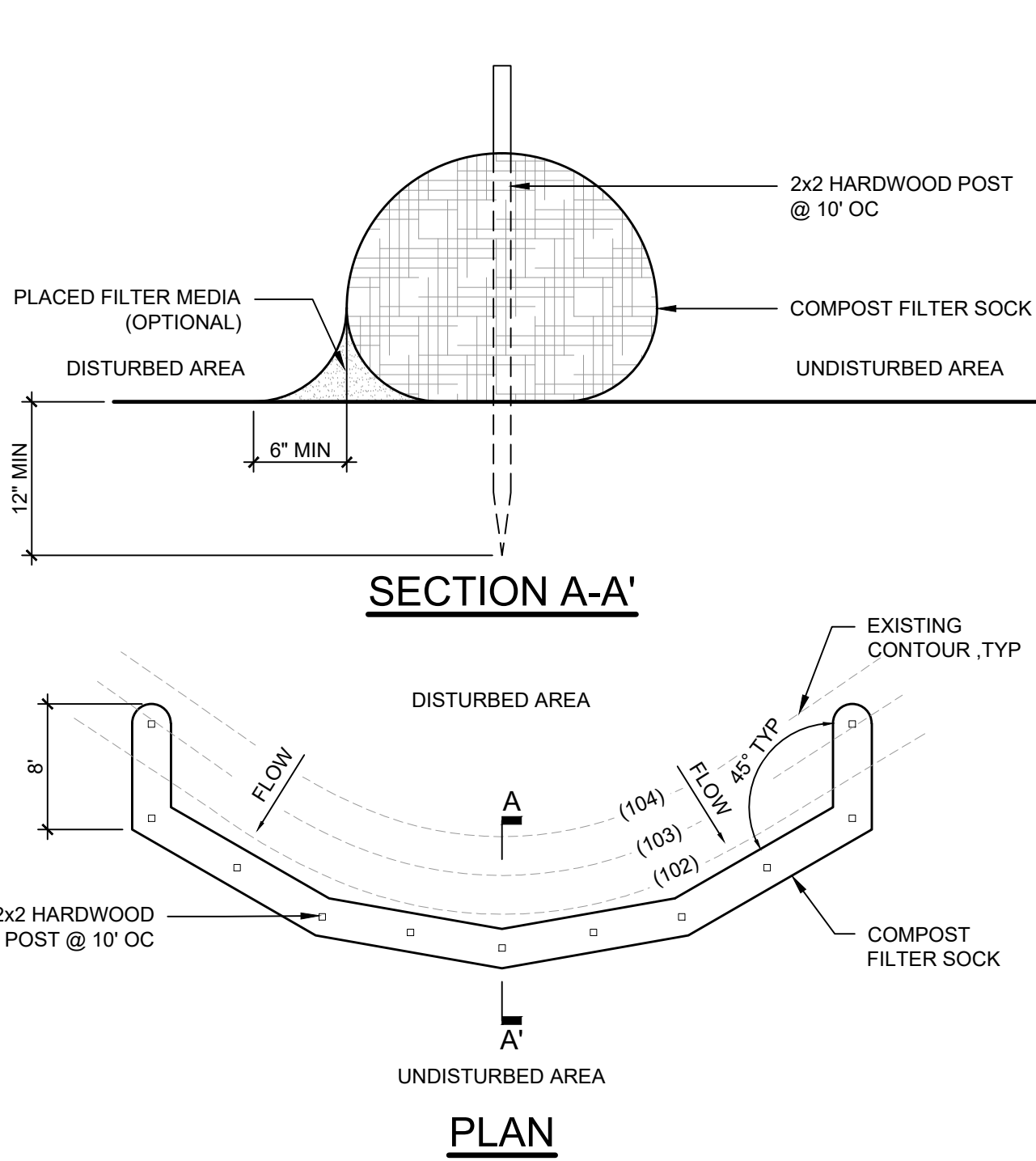
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Drawing Title  
**PLANTING PLAN**

Drawing Number  
**C4-01**

PLANT LIST					
KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	COMMENTS
CK	CORNUS KOUSA	KOUSA DOGWOOD	8 FT HT	BALL & BURLAP	TREE FORM
BV	BUXUS X 'GREEN VELVET'	GREEN VELVET BOXWOOD	24 IN HT	CONT.	
HP	HYDRANGEA PANICULATA 'FIRE LIGHT TIDBIT'	FIRE LIGHT TIDBIT HYDRANGEA	30 IN HT	CONT.	
HF	HYDRANGEA PANICULATA 'FIRE LIGHT'	FIRE LIGHT HYDRANGEA	36 IN HT	CONT.	
PT	PACHYSANDRA TERMINALIS	PACHYSANDRA JAPANESE SPURGE	ROOTED CUTTING	FLAT	6 IN OC SPACING
NP	NEPETA 'CAT'S PAJAMAS'	CAT'S PAJAMAS CAT MINT	1 GAL	CONT.	SPACING AS SHOWN
OS	ONOCLEA SENSIBILIS	SENSITIVE FERN	1 GAL	CONT.	





- NOTE:
1. COMPOST FILTER SOCKS SHALL BE PLACED ON THE CONTOUR WITH BOTH TERMINAL ENDS OF THE SOCK EXTENDED 8 FEET UPSLOPE AT A 45° ANGLE TO PREVENT BYPASS FLOW.
  2. DIAMETERS DESIGNED FOR USE SHALL BE 12"-32".
  3. THE FLAT DIMENSION OF THE SOCK SHALL BE AT LEAST 1.5 TIMES THE NOMINAL DIAMETER.
  4. THE MAXIMUM SLOPE LENGTH (IN FEET) ABOVE A COMPOST FILTER SOCK SHALL NOT EXCEED THE FOLLOWING LIMITS:

TABLE 1 - MAXIMUM SLOPE LENGTH ABOVE COMPOST FILTER SOCK (FEET)							
DIA (IN)	2	5	10	20	25	33	50
8	225	200	100	5	20	-	-
12	250	225	125	65	50	40	25
18	275	250	150	70	55	45	30
24	350	275	200	130	100	60	35
32	450	325	275	150	120	75	50

TABLE 2 - COMPOST FILTER MEDIA STANDARDS	
ORGANIC MATTER CONTENT	25% - 100% DRY WEIGHT
ORGANIC PORTION	FIBROUS AND ELONGATED
pH	6.0 - 8.0
MOISTURE CONTENT	30% - 60%
PARTICLE SIZE	100% PASSING A 1" SCREEN AND 10-50% PASSING A 3/8" SCREEN
SOLUBLE SALT CONCENTRATION	5.0 dS/m (mmhos/cm) MAXIMUM

TABLE 3 - COMPOST SOCK FABRIC MINIMUM SPECIFICATIONS					
MATERIAL TYPE	3 MIL HDPE	5 MIL HDPE	5 MIL HDPE	MULTI-FILAMENT POLYPROPYLENE	HEAVY DUTY MULTI-FILAMENT POLYPROPYLENE
MATERIAL CHARACTERISTICS	PHOTODEGRAD-ABLE	PHOTODEGRAD-ABLE	BIODEGRAD-ABLE	PHOTODEGRAD-ABLE	PHOTODEGRAD-ABLE
SOCK DIAMETERS	12", 18"	12", 18", 24", 32"	12", 18", 24", 32"	12", 18", 24", 32"	12", 18", 24", 32"
MESH OPENING	3/8"	3/8"	3/8"	3/8"	1/8"
TENSILE STRENGTH		26 PSI	26 PSI	44 PSI	202 PSI
ULTRAVIOLET STABILITY % ORIGINAL STRENGTH (ASTM G-155)	23% AT 1000 HR.	23% AT 1000 HR.		100% AT 1000 HR.	100% AT 1000 HR.
MINIMUM FUNCTIONAL LONGEVITY	6 MONTHS	9 MONTHS	6 MONTHS	1 YEAR	2 YEARS

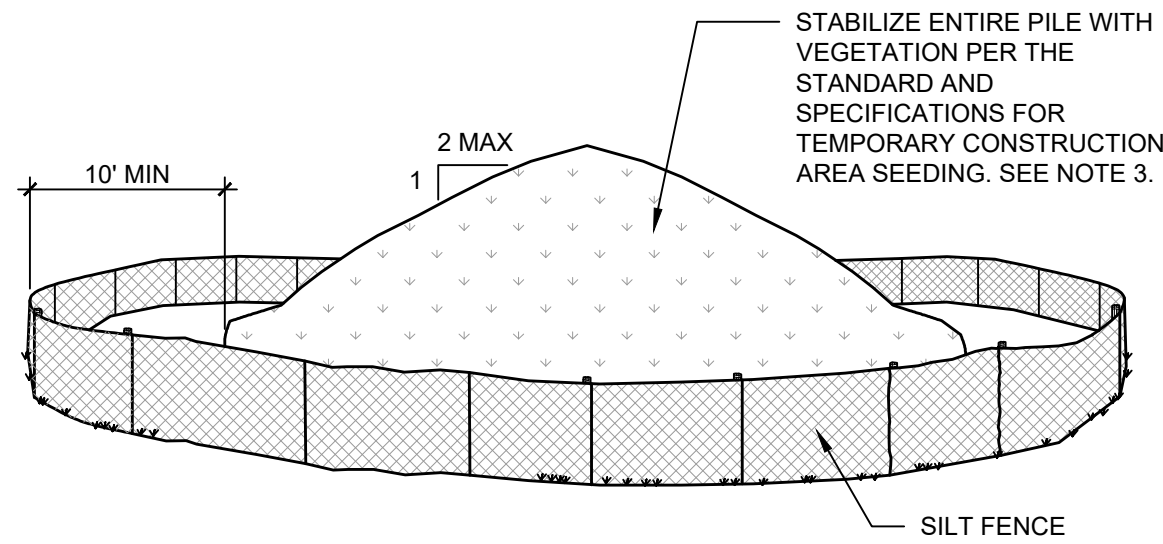
5. THE COMPOST INFILL SHALL BE WELL DECOMPOSED (MATURED AT LEAST 3 MONTHS), WEED-FREE, ORGANIC MATTER. IT SHALL BE AEROBICALLY COMPOSTED, POSSESS NO OBJECTIONABLE ODORS, AND CONTAIN LESS THAN 1% BY DRY WEIGHT, OF MAN-MADE FOREIGN MATTER. THE PHYSICAL PARAMETERS OF THE COMPOST SHALL MEET THE STANDARDS LISTED IN TABLE 5.2-COMPOST FILTER MEDIA STANDARDS TABLE\*. NOTE ALL BIOSOLIDS COMPOST PRODUCED IN NEW YORK STATE (OR APPROVED FOR IMPORTATION) MUST MEET NYS DEC'S 6 NYCRR PART 360 (SOLIDS WASTE MANAGEMENT FACILITIES) REQUIREMENTS. THE PART 360 REQUIREMENTS ARE EQUAL TO OR MORE STRINGENT THAN 40 CFR PART 503 WHICH ENSURE SAFE STANDARDS FOR PATHOGEN REDUCTION AND HEAVY METALS CONTENT. WHEN USING COMPOST FILTER SOCKS ADJACENT TO SURFACE WATER, THE COMPOST SHOULD HAVE A LOW NUTRIENT VALUE.
6. THE COMPOST FILTER SOCK FABRIC MATERIAL SHALL MEET THE MINIMUM SPECIFICATIONS GIVEN IN TABLE 5.3-COMPOST SOCK FABRIC MINIMUM SPECIFICATIONS TABLE\*.
7. COMPOST FILTER SOCKS SHALL BE ANCHORED IN EARTH WITH 2x2 WOODEN STAKES DRIVEN 12" INTO THE SOIL ON 10 FOOT CENTER ON THE CENTERLINE OF THE SOCK. ON UNEVEN TERRAIN, EFFECTIVE GROUND CONTACT CAN BE ENHANCED BY THE PLACEMENT OF A FILLET OR FILTER MEDIA ON THE DISTURBED AREA SIDE OF THE COMPOST SOCK.
8. ALL SPECIFIC CONSTRUCTION DETAILS AND MATERIAL SPECIFICATIONS SHALL APPEAR ON THE EROSION AND SEDIMENT CONTROL CONSTRUCTIONS DRAWINGS WHEN COMPOST FILTER SOCKS ARE INCLUDED IN THE PLAN.

\*TABLE FROM THE 2016 NYS STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.

## 1 COMPOST FILTER SOCK

Scale: NTS

TEMPORARY



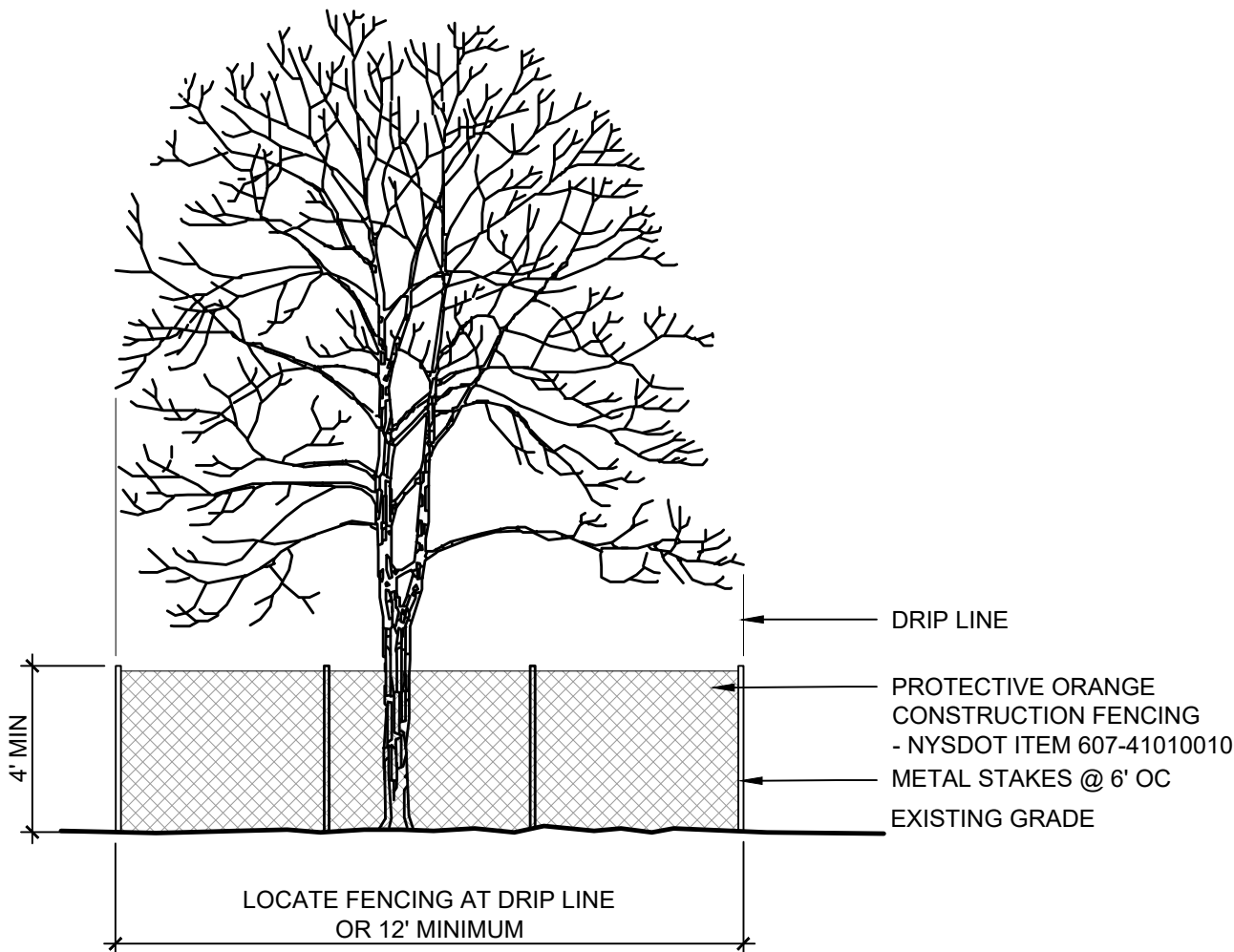
### NOTES:

1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY, STABILIZED AND LOCATED AWAY FROM KNOWN WORK AREAS TO PREVENT RELOCATION.
2. MAXIMUM STOCKPILE HEIGHT SHALL BE 12 FEET.
3. EACH PILE SHALL BE SURROUNDED WITH SILT FENCING, INSTALLED PER SILT FENCE DETAIL, THEN STABILIZED IN ACCORDANCE WITH THE NYSDEC STANDARD AND SPECIFICATIONS FOR TEMPORARY CONSTRUCTION AREA SEEDING WITHIN 7 DAYS OF COMPLETION.
4. A PERIMETER DIKE/SWALE SHALL BE LOCATED UP-SLOPE OF THE TOPSOIL STOCKPILE TO DIVERT STORMWATER AROUND THE STOCKPILE.

## 2 STABILIZED SOIL STOCKPILE

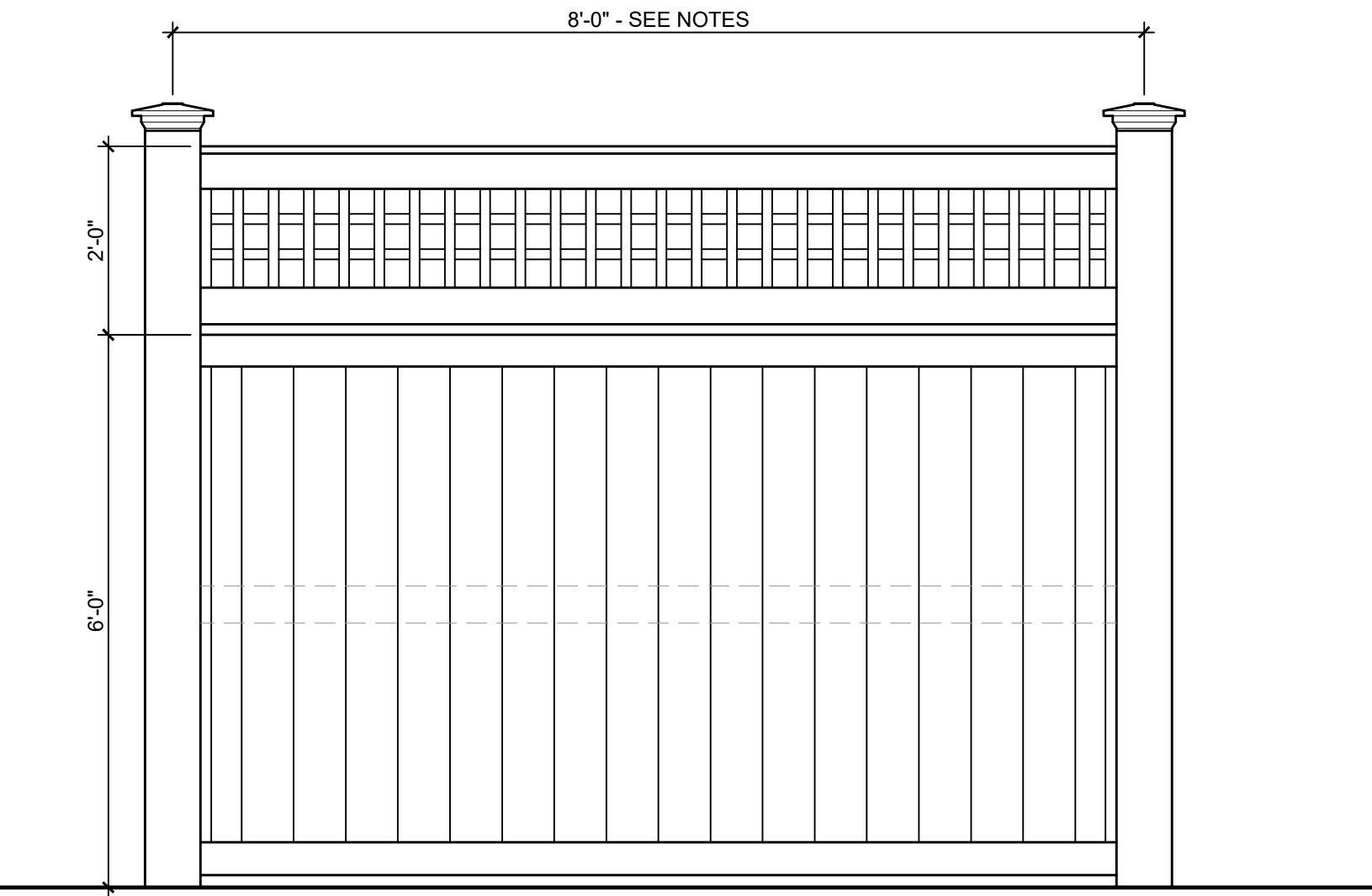
Scale: NTS

TEMPORARY



## 3 VEGETATION PROTECTION

Scale: NTS



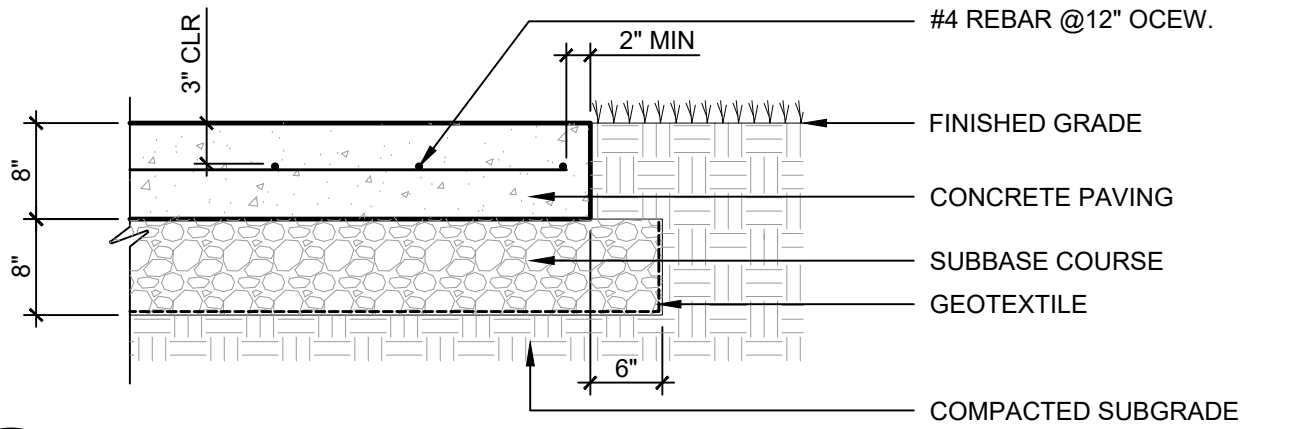
### NOTES:

#### BASIS OF DESIGN:

1. WALPOLE OUTDOOR 6' HT UNIVERSAL BOARD FENCE WITH A 2' HT 2.5" HV TOPPER
2. INSTALL FENCE AS PER MANUFACTURER INSTALLATION INSTRUCTIONS
3. POST SPACING SHALL BE DETERMINED BY PRODUCT REQUIREMENTS AND APPROVED BY OWNER'S REPRESENTATIVE IN SHOP DRAWING SUBMITTAL

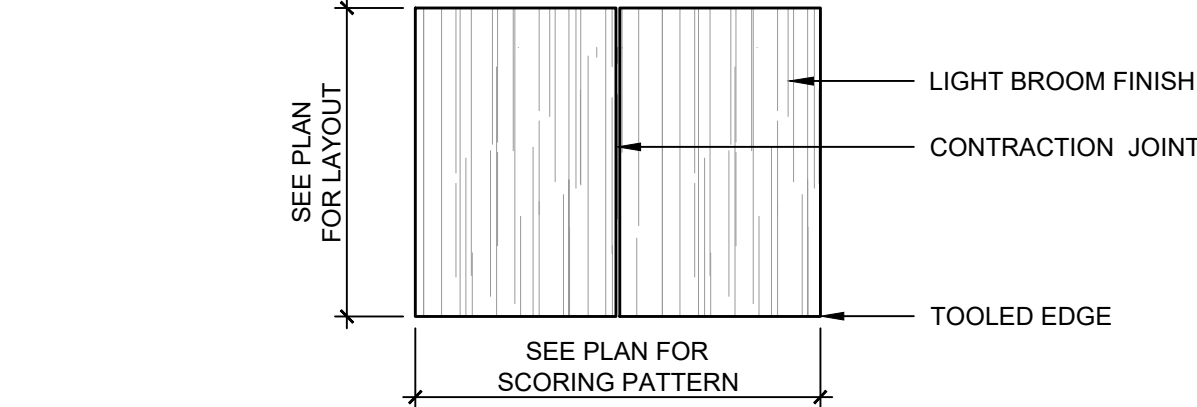
## 4 6 FT HT CPVC FENCE WITH 2 FT LATTICE TOP

Scale: NTS



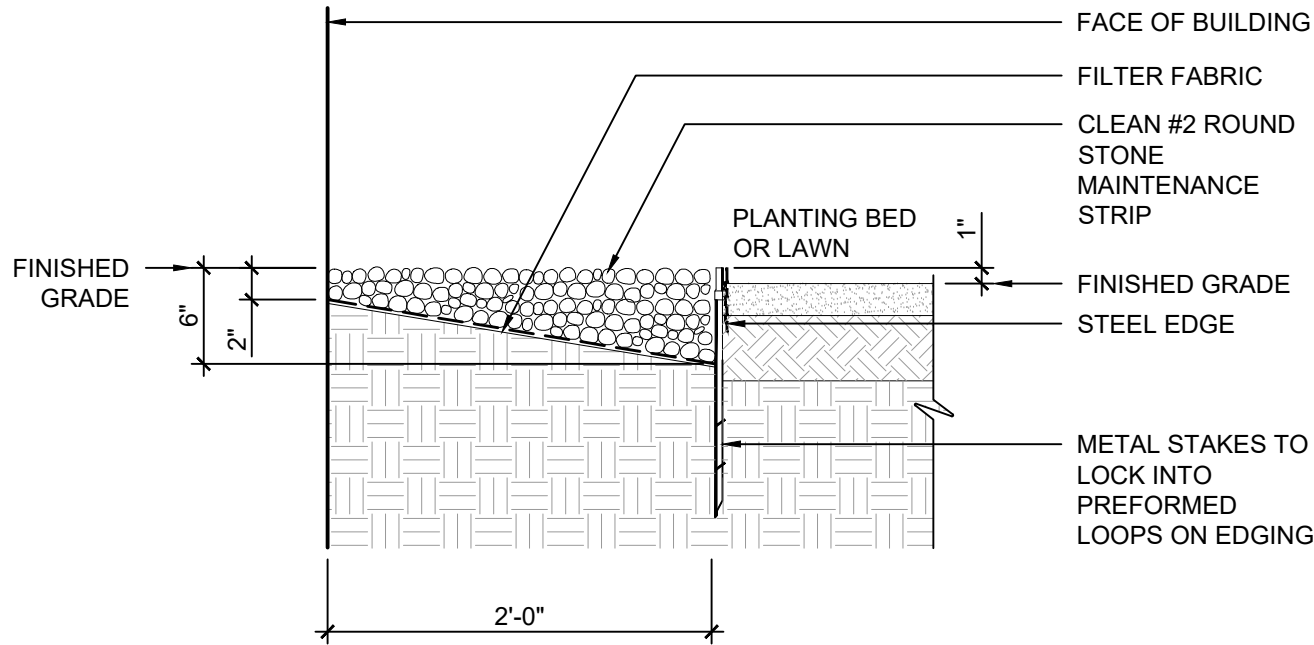
## 5 CONCRETE PAVEMENT

Scale: NTS



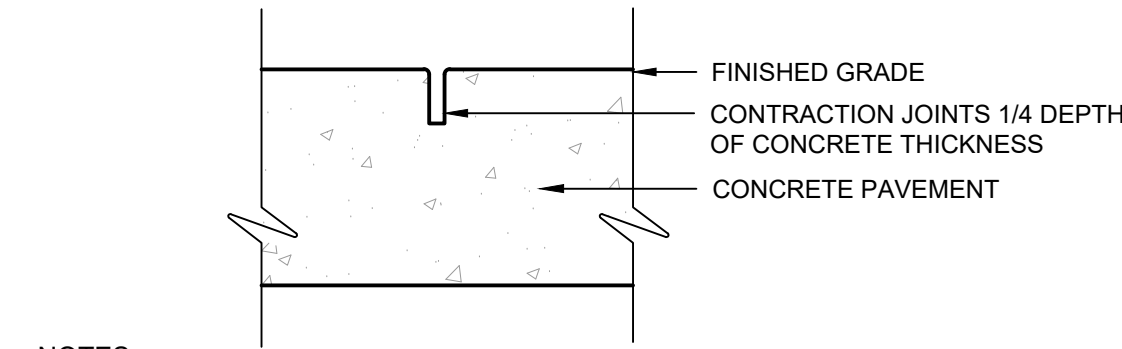
## 6 CONCRETE PAVEMENT FINISH

Scale: NTS



## 7 STONE MULCH/STEEL EDGE

Scale: NTS

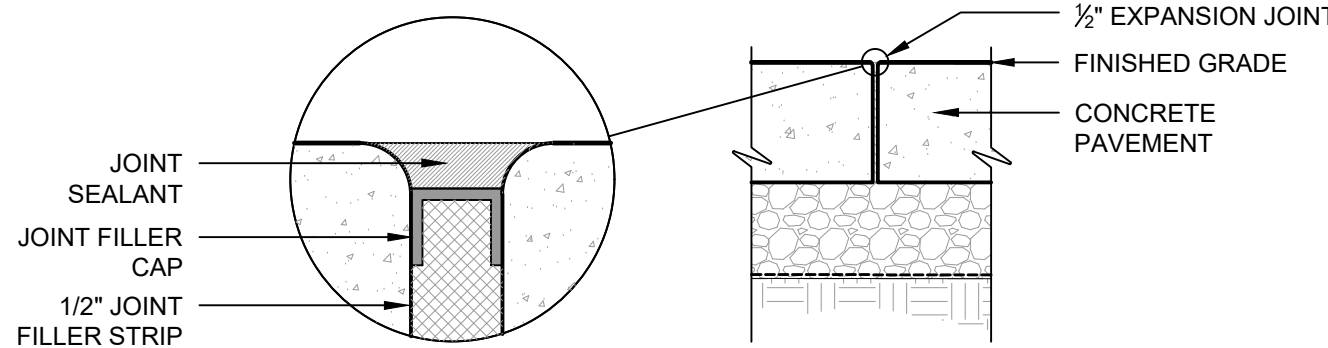


### NOTES:

1. TOOLED CONTRACTION JOINTS.
2. CONTRACTION JOINTS SHALL BE EVERY 5 FEET OC..

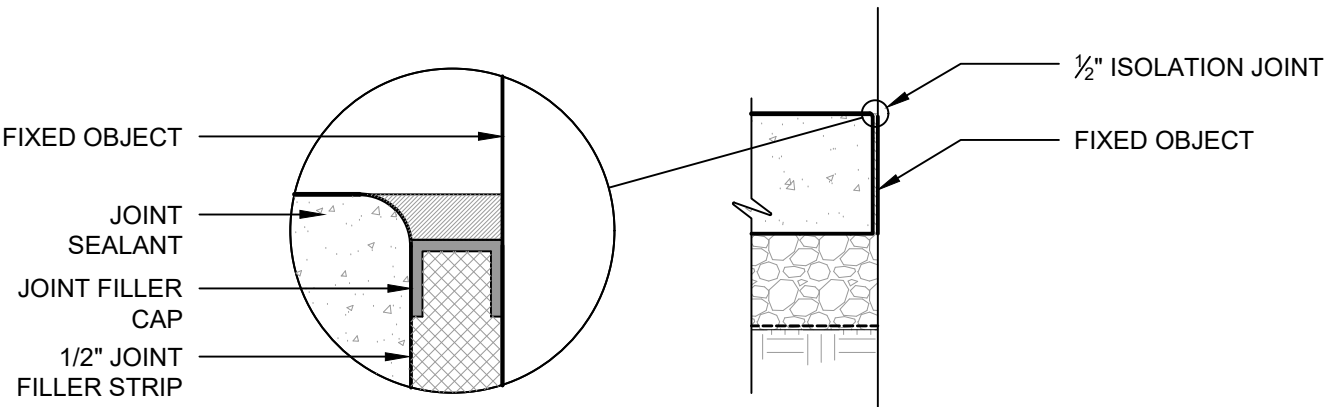
### CONTRACTION JOINT

SCALE: NTS



### EXPANSION JOINT

SCALE: NTS



### ISOLATION JOINT

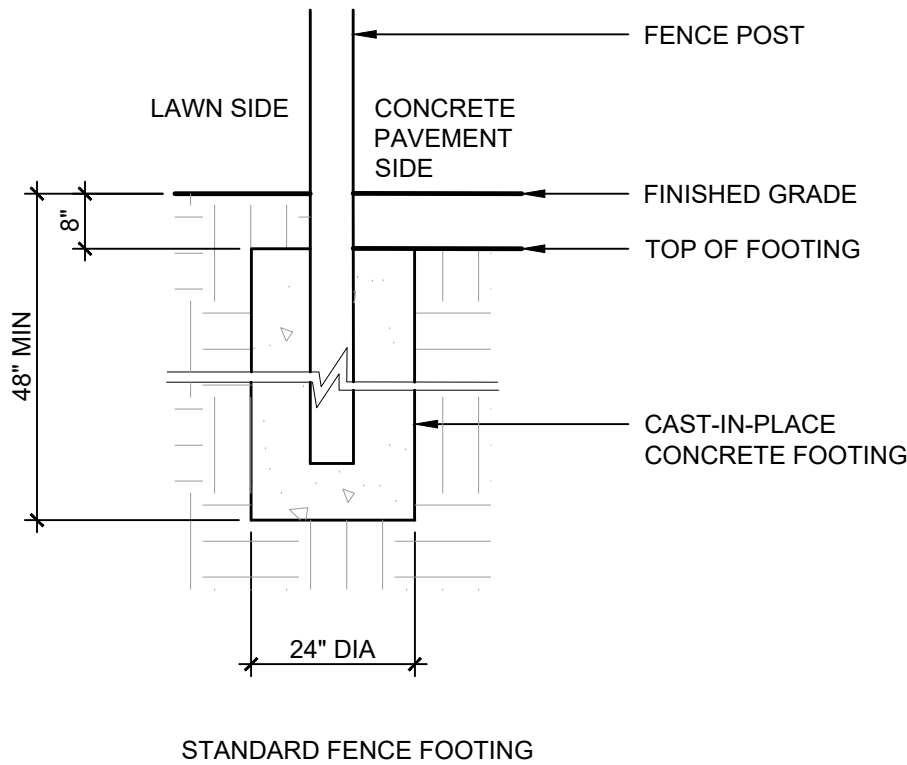
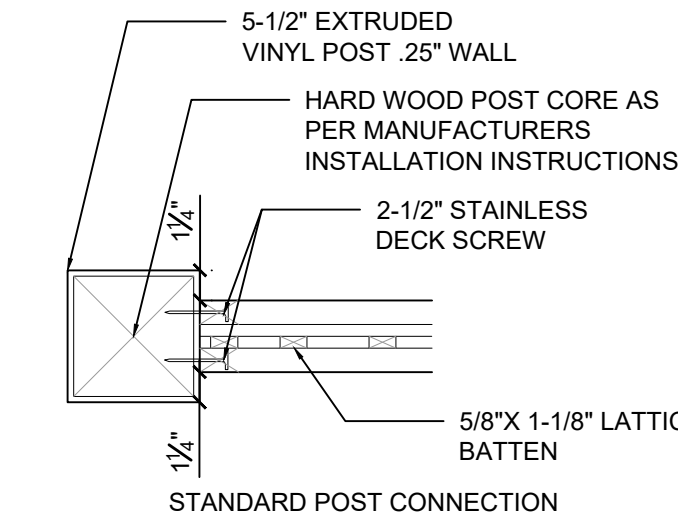
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### NOTES:

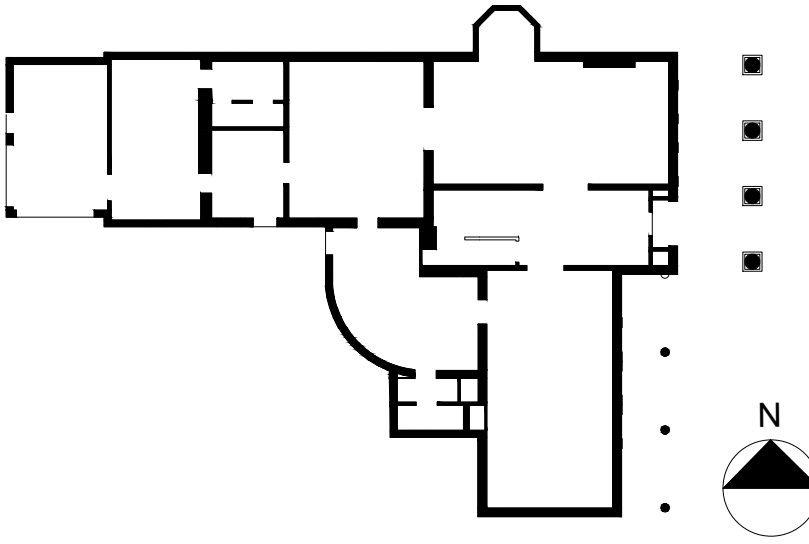
1. FORM ISOLATION JOINTS OF PRE-FORMED JOINT-FILLER STRIPS ABUTTING CONCRETE CURBS, CATCH BASINS, MANHOLES, INLETS, STRUCTURES, OTHER FIXED OBJECTS, AND WHERE INDICATED.

## 8 CONCRETE - PAVEMENT JOINTS

Scale: NTS



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### PROJECT NO. 051037

### LANFORD REHAB

### PHASE II EXTERIOR

194 CENTRAL AVENUE  
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Revision Number	Date	Description

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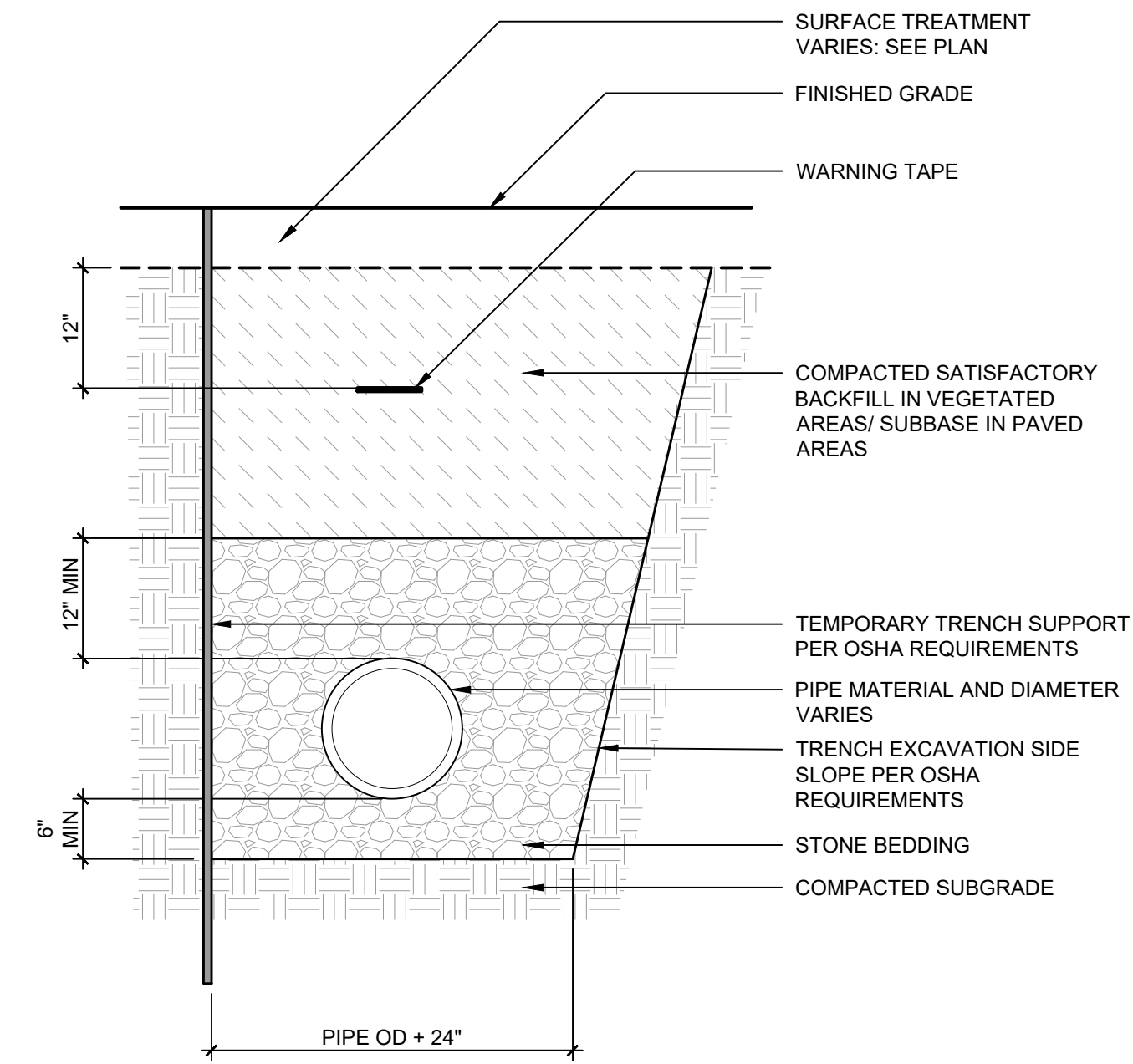
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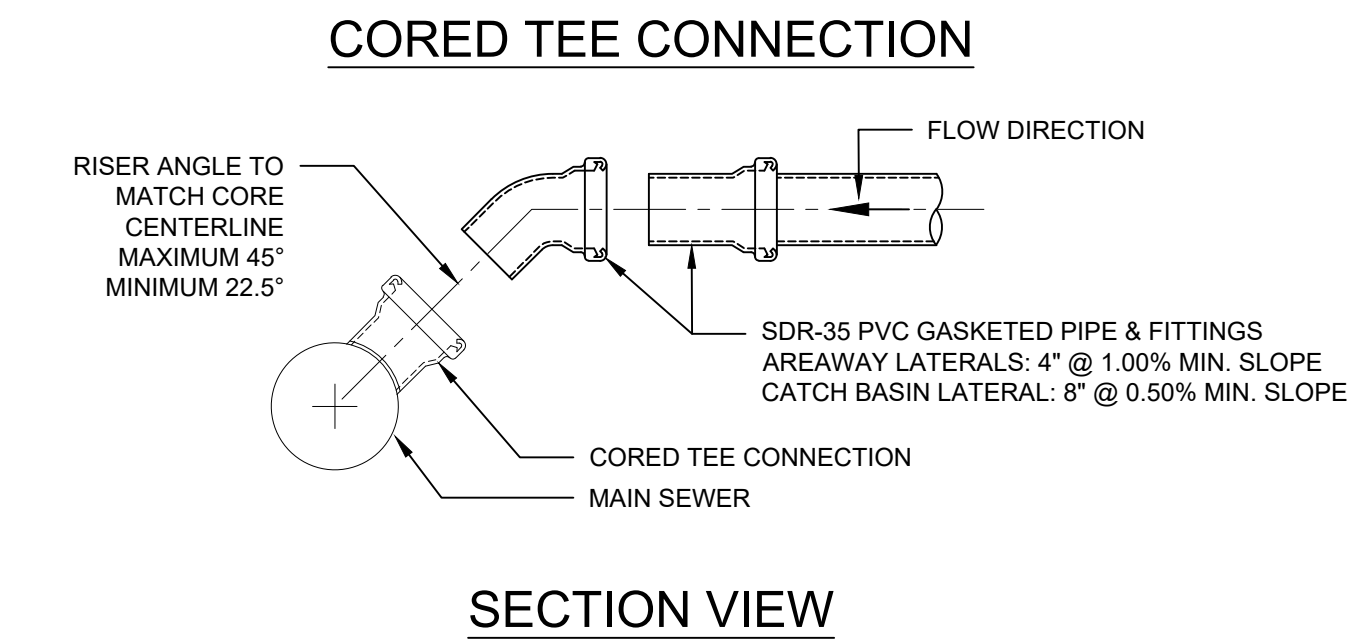
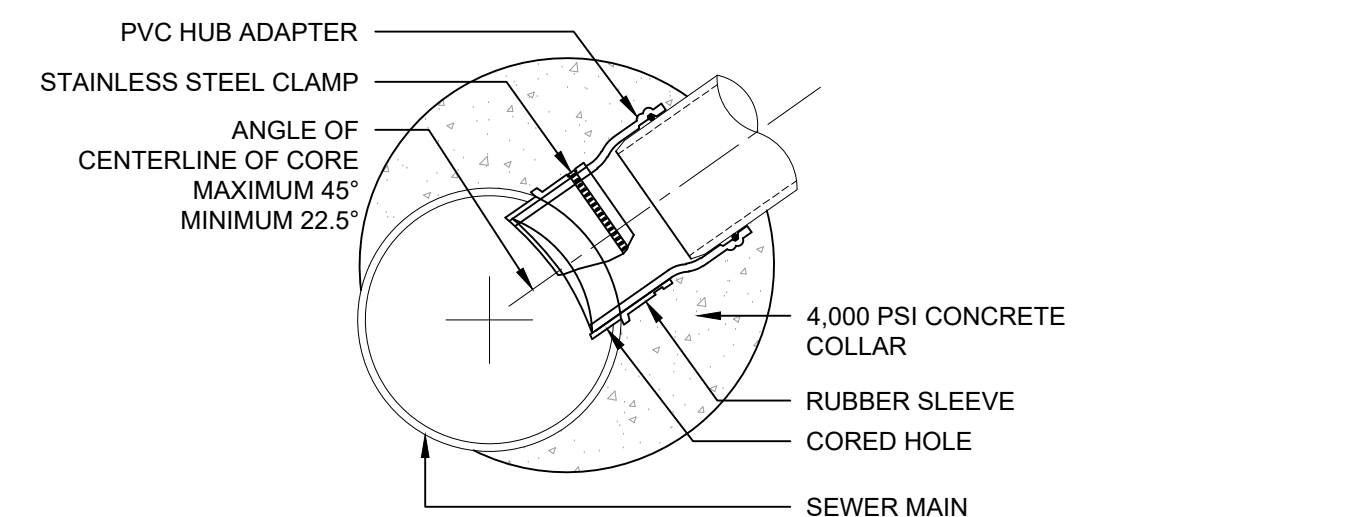
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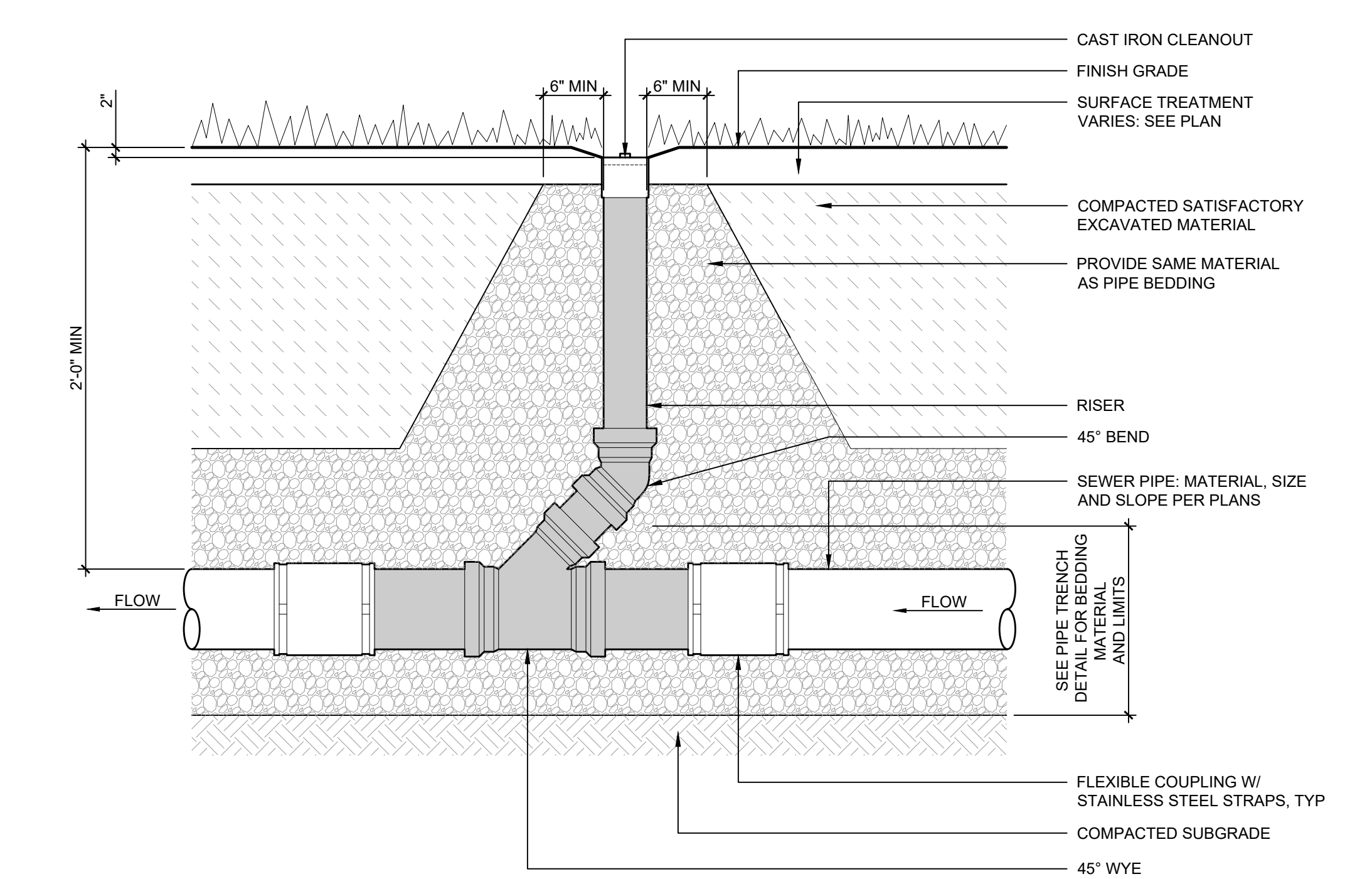


**1 PIPE TRENCH**  
Scale: NTS WITH STONE BEDDING

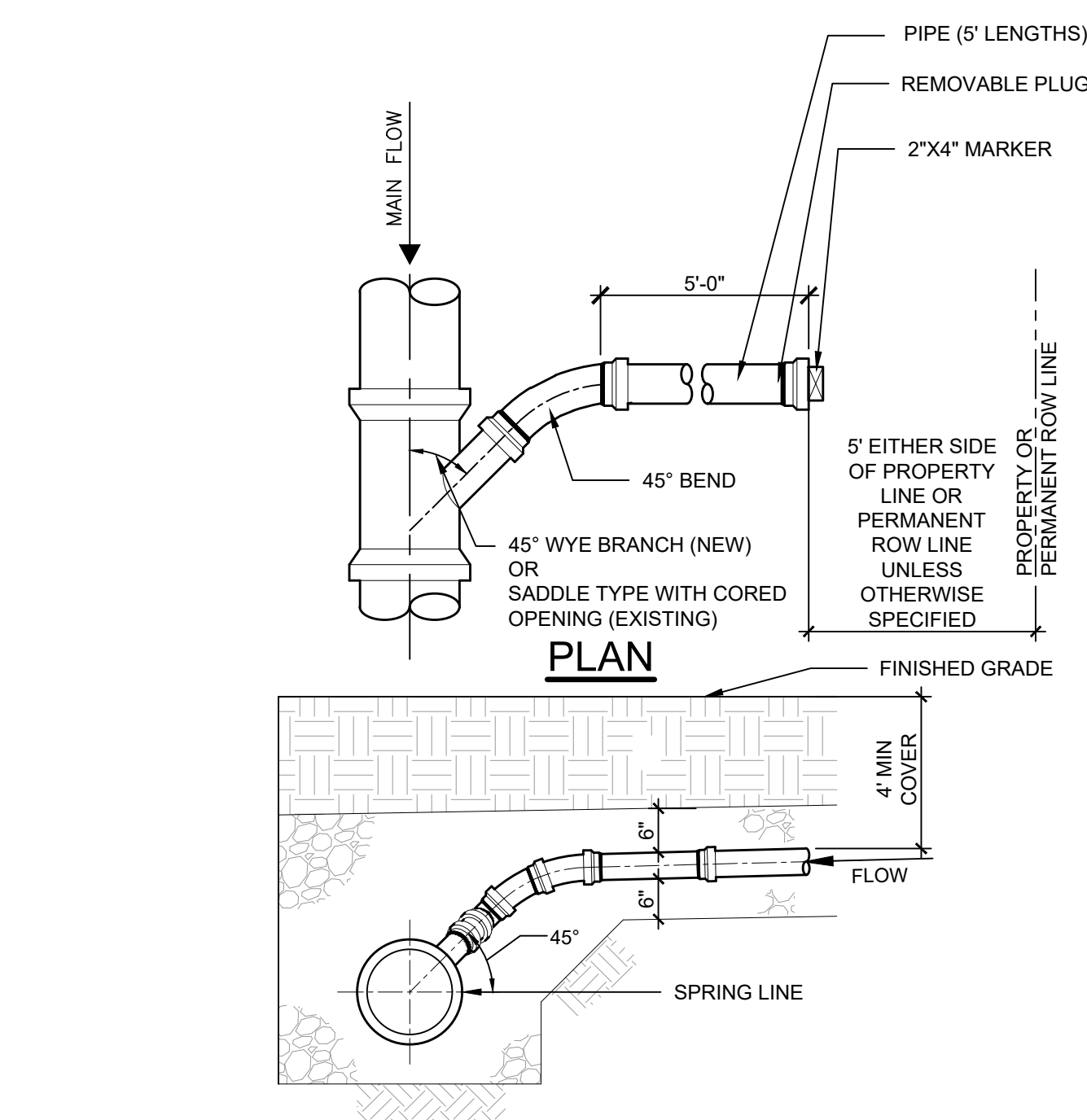


NOTES:  
1. LATERAL CONNECTION MUST BE CORED. PNEUMATIC DEVICES OR HAMMERING KNOCK-OUT METHODS ARE NOT ACCEPTABLE FOR CREATING OPENING FOR NEW LATERAL PIPE.  
2. SIZE OF CORED OPENING SHALL BE LIMITED TO ONE-HALF THE NOMINAL DIAMETER OF THE MAINLINE SEWER.  
3. CORE HOLE A MINIMUM OF 6" AWAY FROM EXISTING PIPE HUBS.  
4. TAKE NECESSARY PRECAUTIONS TO PREVENT DAMAGE TO THE MAIN SEWER, AND TO PREVENT DEBRIS FROM ENTERING THE SEWER.

**2 SANITARY SEWER LATERAL**  
Scale: NTS

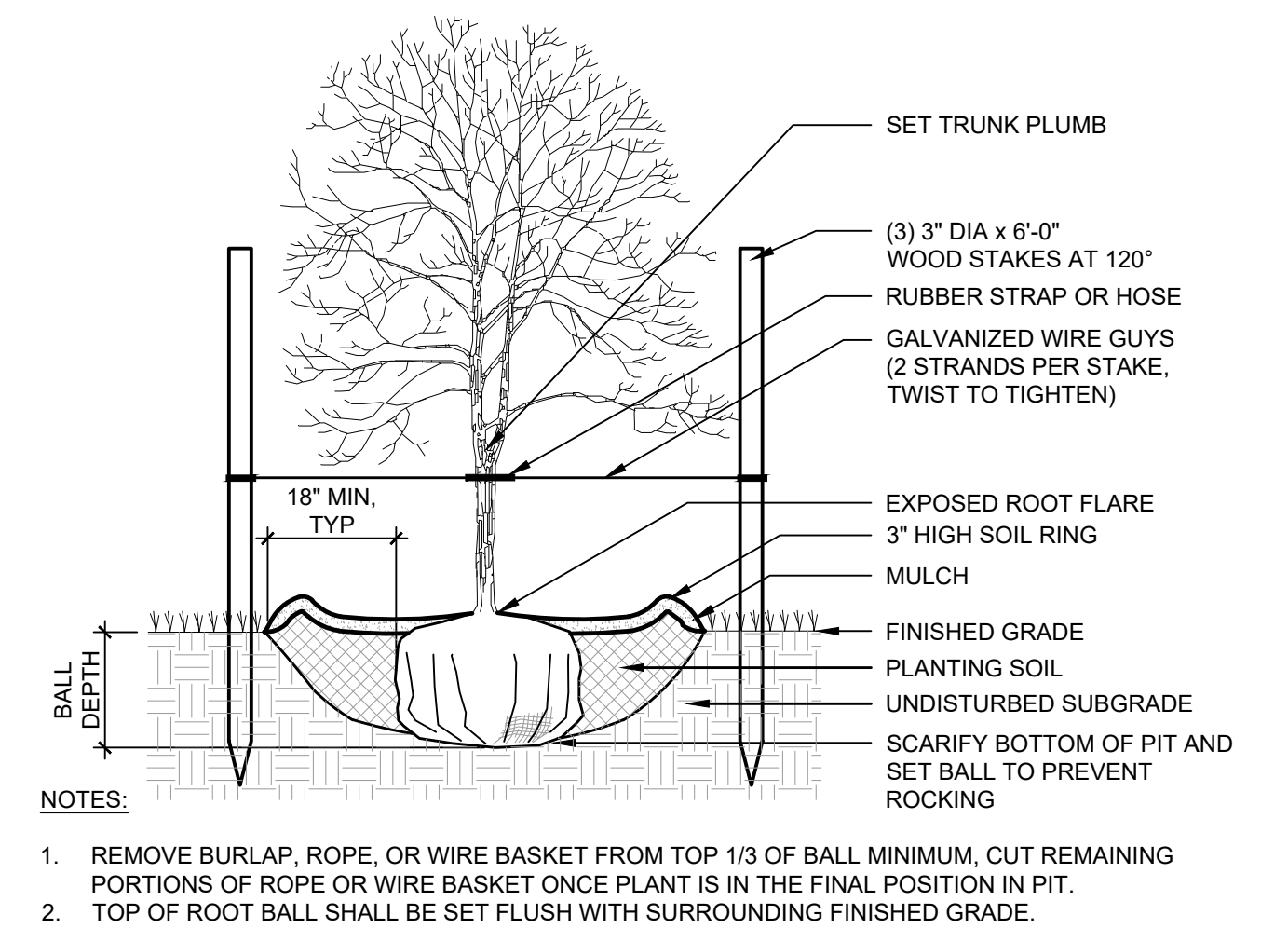


**4 SANITARY CLEANOUT**  
Scale: NTS

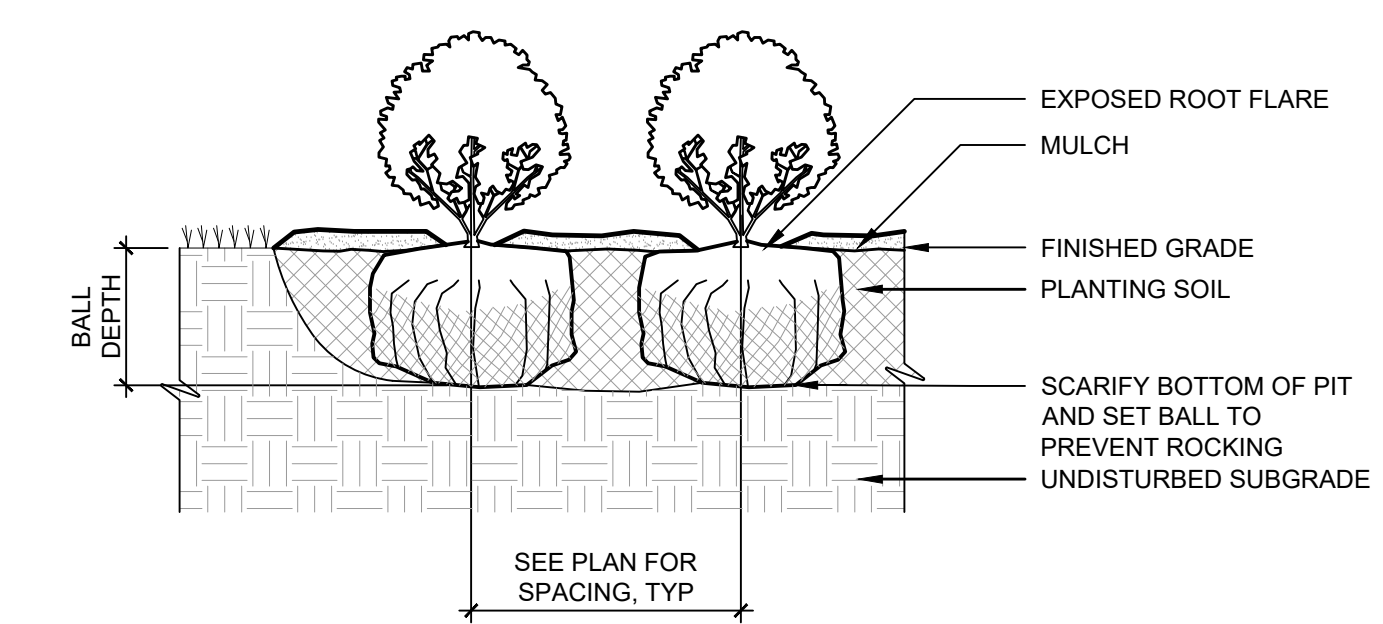


NOTES:  
1. 2X4 MARKER TO EXTEND FROM INVERT TO 24" ABOVE FINISHED GRADE  
2. ONLY ONE CONNECTION ALLOWED PER JOINT OF PIPE

**5 SANITARY SEWER CONNECTION**  
Scale: NTS

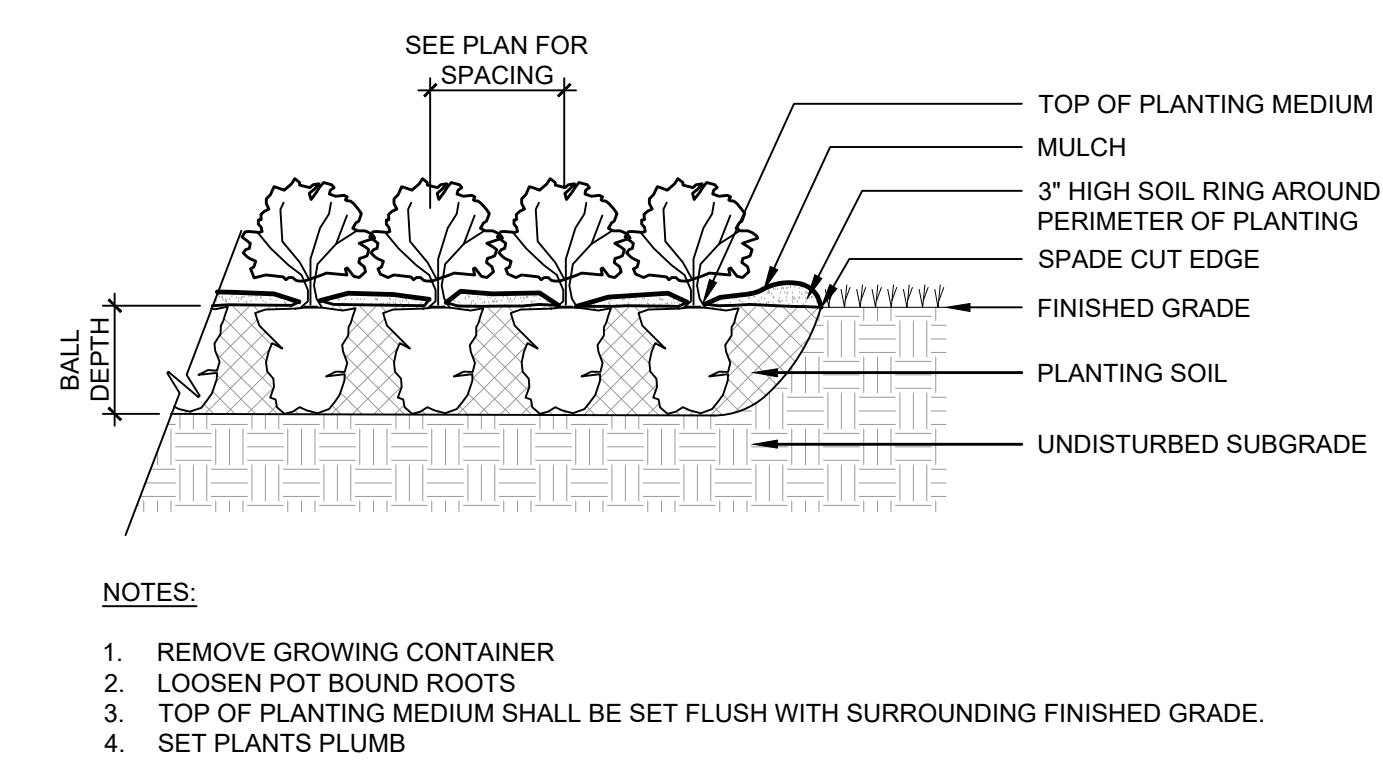


**6 DECIDUOUS TREE**  
Scale: NTS WITH UPRIGHT STAKES

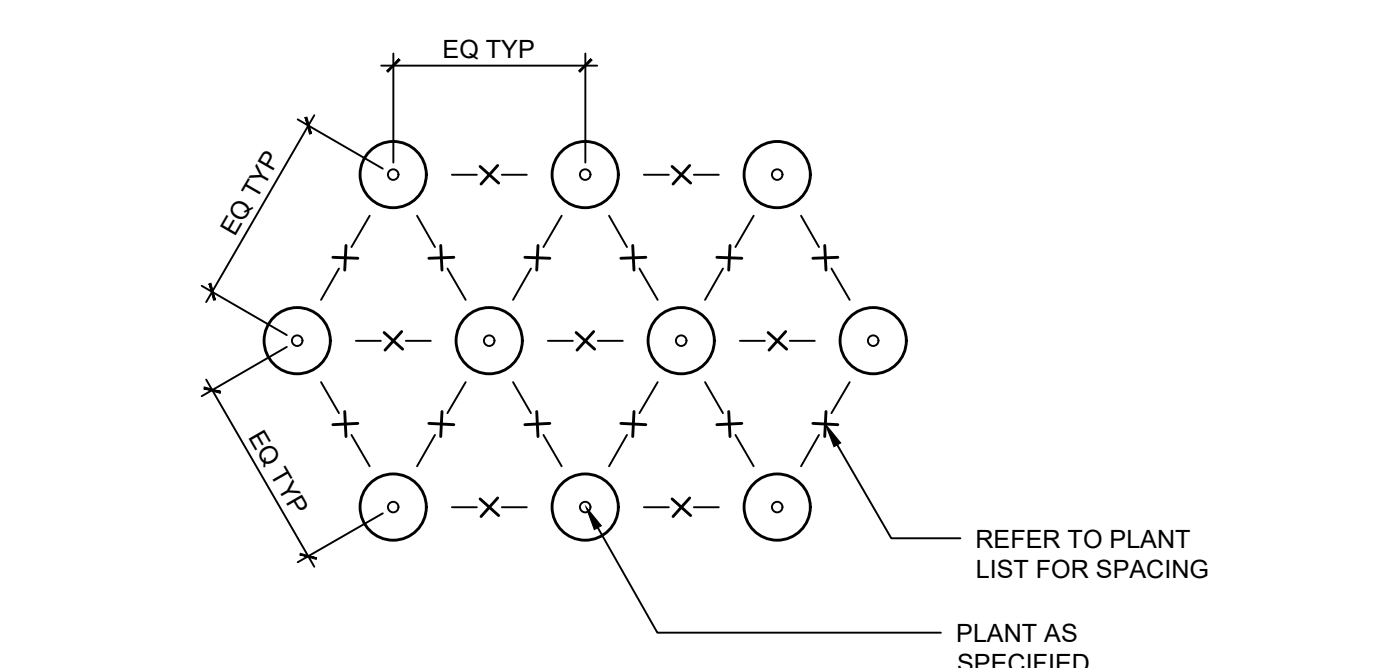


NOTES:  
1. TOP OF ROOT BALL SHALL BE SET FLUSH WITH SURROUNDING FINISHED GRADE.  
2. SET PLANTS PLUMB

**7 SHRUB MASSING**  
Scale: NTS WITH CONTINUOUS PLANT BED

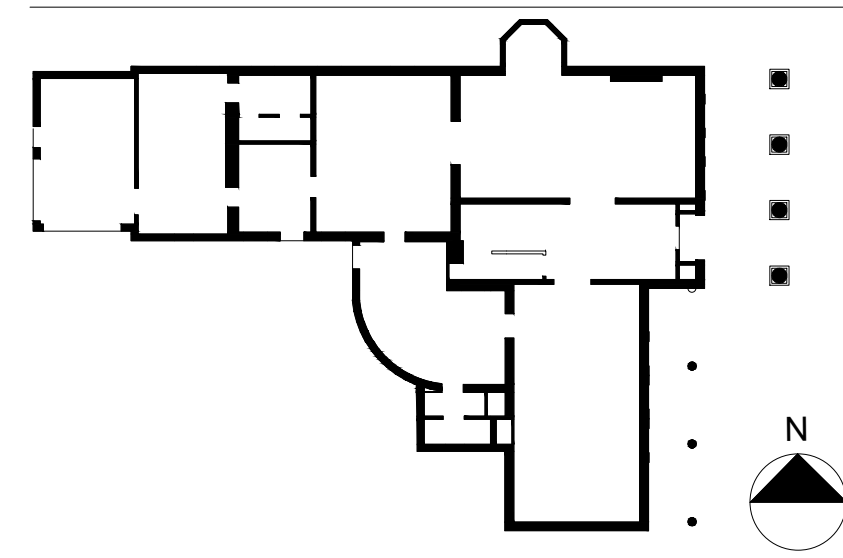


**8 PERENNIAL & GROUND COVER**  
Scale: NTS MASSING - WITH CONTINUOUS PLANT BED



**9 PLANT LAYOUT**  
Scale: NTS PERENNIAL & GROUND COVER

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DETAILS

Drawing Number

C6-02

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- ## FOUNDATION NOTES

- ## CONCRETE NOTES

- 1 REFER TO DIVISION 03 OF THE PROJECT SPECIFICATIONS FOR ADDITIONAL CONCRETE REQUIREMENTS.
- 2 REFER TO THE PROJECT "STATEMENT OF SPECIAL INSPECTIONS" FOR REQUIRED CONCRETE TESTING AND INSPECTIONS.
- 3 ALL CONCRETE WORK SHALL CONFORM TO THE REQUIREMENTS OF THE LATEST EDITION OF ACI 301 "SPECIFICATIONS FOR STRUCTURAL CONCRETE BUILDINGS".
- 4 ALL DETAILING, FABRICATION AND ERECTION OF REINFORCING BARS, UNLESS NOTED OTHERWISE, MUST FOLLOW THE LATEST EDITION OF THE ACI CODE AND ACI MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES.
- 5 "NET STICKING" DONNELS AND REINFORCING INTO CONCRETE IS NOT PERMITTED. ALL DONNELS, REINFORCING AND WELDED WIRE FABRIC MUST BE SUPPORTED AND TIED IN ITS PROPER LOCATION PRIOR TO POURING CONCRETE.
- 6 REFER TO CHAPTER 20 OF THE LATEST EDITION OF ACI 318 FOR MINIMUM CONCRETE COVER REQUIREMENTS.
- 8 DO NOT USE CALCIUM CHLORIDE IN ANY CONCRETE.
- 9 REFER TO AND COORDINATE WITH ARCHITECTURAL AND MEP DRAWINGS FOR ALL ITEMS REQUIRED OTHER TRADES TO BE PLACED INTO CONCRETE PRIOR TO POURING.
- 10 REFER TO AND COORDINATE WITH ARCHITECTURAL AND MEP DRAWINGS FOR ALL SLAB DEPRESSIONS, WALL AND SLAB OPENINGS AND FLOOR FINISHES PRIOR TO POURING CONCRETE.

REFER TO DIVISION 05 OF THE PROJECT SPECIFICATIONS FOR ADDITIONAL STRUCTURAL STEEL REQUIREMENTS.

- ## WOOD NOTES

- 1 REFER TO DIVISION 06 OF THE PROJECT SPECIFICATION FOR ADDITIONAL WOOD  
REQUIREMENTS.
- 2 STORAGE OF ALL LUMBER AND TIMBER ON SITE SHALL BE KEPT OFF GROUND, UNDER COVER  
AND PROTECTED FROM DAMAGE.
- 3 ALL WOOD FRAMING DETAILS NOT SHOWN OTHERWISE SHALL BE CONSTRUCTED TO THE  
MINIMUM STANDARDS OF THE INTERNATIONAL BUILDING CODE.
- 4 MINIMUM NAILING SHALL CONFORM TO TABLE 2304.10.1 IN THE INTERNATIONAL BUILDING  
CODE.
- 5 ALL NAILS FOR STRUCTURAL WORK SHALL BE COMMON WIRE NAILS. HOLES SHALL BE  
PRE-DRILLED WHERE NECESSARY TO PREVENT SPLITTING.
- 6 FLUSH FRAMED CONNECTIONS SHALL BE MADE WITH PREFABRICATED GALVANIZED STEEL  
PLATES MADE BY SIMPSON STRONG-TIE, CO. INC. OR APPROVED EQUIVALENT OF THE  
TYPE AND DEPTH APPROPRIATE FOR THE SUPPORTED MEMBERS. INSTALL WITH THE TYPE AND  
QUANTITY OF FASTENERS RECOMM

1 REFER TO DIVISION 01 OF THE PROJECT SPECIFICATIONS FOR THE SCHEDULE OF SPECIAL  
INSPECTIONS AND ADDITIONAL SPECIAL INSPECTIONS REQUIREMENTS.

2 MATERIAL SPECIFICATION SECTIONS, THE SCHEDULE OF SPECIAL INSPECTIONS AND ALL  
ASSOCIATED NOTES DESCRIBE THE STRUCTURAL TESTING AND INSPECTIONS REQUIRED FOR  
PROJECT. COLLECTIVELY THEY SHALL BE CONSIDERED THE STATEMENT OF SPECIAL  
INSPECTIONS.

3 THE OWNER SHALL ENGAGE THE SERVICES OF A QUALIFIED SPECIAL INSPECTOR FOR THIS  
PROJECT. SIRACUSE ENGINEERS, PC IS NOT THE SPECIAL INSPECTOR FOR THIS PROJECT UN  
ENGAGED BY THE OWNER UNDER A SEPARATE CONTRACT.

4 THE CONTRACTOR SHALL HOLD A PRE-CONSTRUCTION MEETING PRIOR TO THE START OF  
CONSTRUCTION TO DISCUSS THE REQUIRED TESTING AND INSPECTION PROCEDURES FOR TH  
PROJECT. THE MEETING SHALL ALSO DISCUSS NOTIFICATION AND REPORTING PROCEDURES

5 THE CONTRACTOR SHALL NOTIFY THE SPECIAL INSPECTOR AND TESTING AGENCY AT LEAST  
HOURS IN ADVANCE OF A REQUIRED INSPECTION OR TEST. UN-INSPECTED WORK THAT REQU  
INSPECTION OR TESTING MAY BE REJECTED SOLELY ON THAT BASIS.

6 THE SPECIAL INSPECTOR AND/OR TESTING AGENCY SHALL IMMEDIATELY NOTIFY THE  
CONTRACTOR OF DEFICIENT WORK THAT REQUIRES CORRECTIVE ACTION. INSPECTION  
REPORTS FOR THIS WORK SHALL NOTE WHEN AND HOW THE DEFICIENT WORK WAS CORRECTE  
NOR IMMEDIATELY CORRECTED WITH SPECIAL INSPECTOR OR TESTING AGENCY PRESENT  
RE-INSPECTED OR TESTED NEED NOT BE IDENTIFIED AS NON-CONFORMING WORK.

7 DEFICIENT WORK, NOT IMMEDIATELY CORRECTED WHILE SPECIAL INSPECTOR OR TESTING  
AGENCY ARE ON SITE, SHALL BE REPORTED TO THE ENGINEER OF RECORD AND CODE  
ENFORCEMENT OFFICIAL WITHIN 24 HOURS. A REPORT OF NON-CONFORMANCE SHALL BE ISS  
FOR THIS WORK.

8 THE CONTRACTOR SHALL COOPERATE WITH THE SPECIAL INSPECTOR AND TESTING AGENCY  
IN THE AGENCY'S ACCESS TO THE WORK AREAS SO THAT TESTING AND INSPECTIONS CAN B  
PERFORMED IN A TIMELY MANNER OR UNDUE DELAY TO THE PROJECT.

9 THE SPECIAL INSPECTIONS REQUIREMENTS OF THIS PROJECT IN NO WAY RELIEVE THE  
CONTRACTOR OF HIS/HER OBLIGATION TO PERFORM WORK IN ACCORDANCE WITH THE  
REQUIREMENTS OF THE CONTRACT DOCUMENTS OR FROM IMPLEMENTING A EFFECTIVE QUALI  
CONTROL PROGRAM.

- 10 EACH TESTING AGENCY SHALL SUBMIT, STAMP AND SIGN AN AGENT'S FINAL REPORT TO THE SPECIAL INSPECTOR FOR ATTACHMENT TO THE SPECIAL INSPECTOR'S FINAL REPORT. THE FINAL REPORT SHALL BE STAMPED AND SIGNED BY THE SPECIAL INSPECTOR AND SUBMITTED TO THE CODE ENFORCEMENT OFFICIAL AND OWNER PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

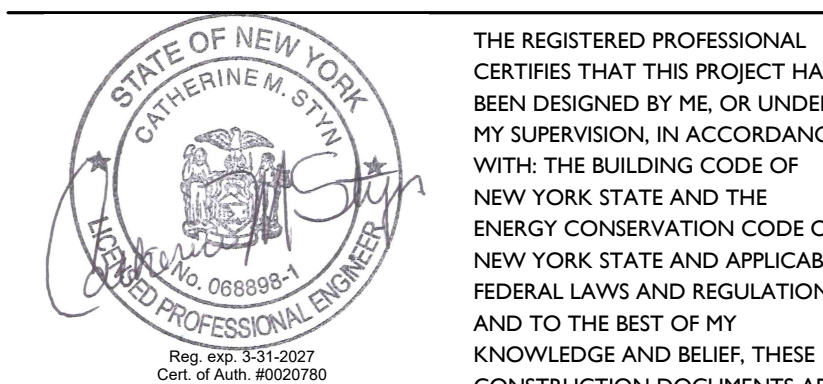
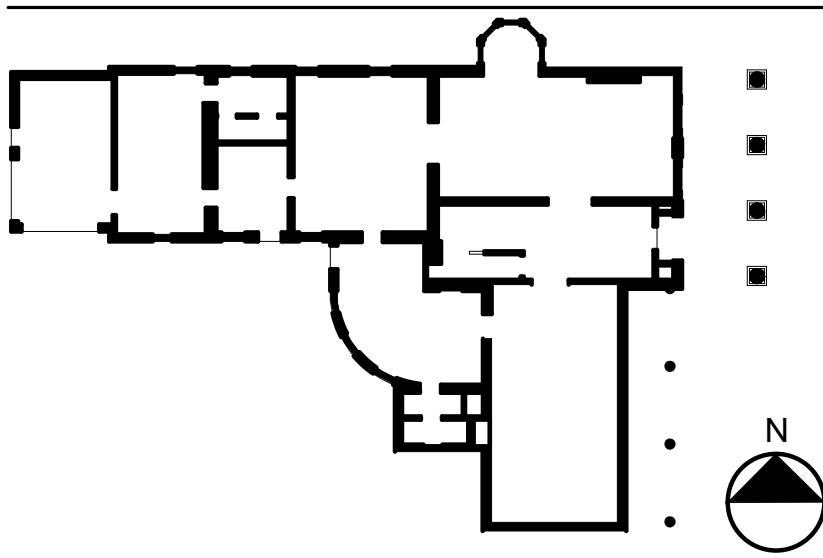
ABBREVIATION	DESCRIPTION	ABBREVIATION	DESCRIPTION
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NOTE: ALL LOADS SHALL BE DETERMINED IN ACCORDANCE WITH 2020 NEW YORK STATE BUILDING CODE. THESE LOADS APPLY TO NEW YORK ONLY. LOAD CAPACITIES OF EXISTING FRAMING WAS NOT VERIFIED.

TYPE	DESCRIPTION	DESIGN CRITERIA

## STRUCTURAL SYMBOLS LEGEND

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DATE 10-1-2024 IN CONFORMANCE THEREWITH.

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194 CENTRAL AVENUE  
FREDONIA, NEW YORK 14063

100% BID DOCUMENTS

Revision Schedule		
Revision Number	Date	Description

DRAWING ISSUED: 10/1/2024

Project Number: FBA PROJECT #00388.00	Scale: As indicated
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Drawn By: NF	Checked By: CS
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Drawing Title

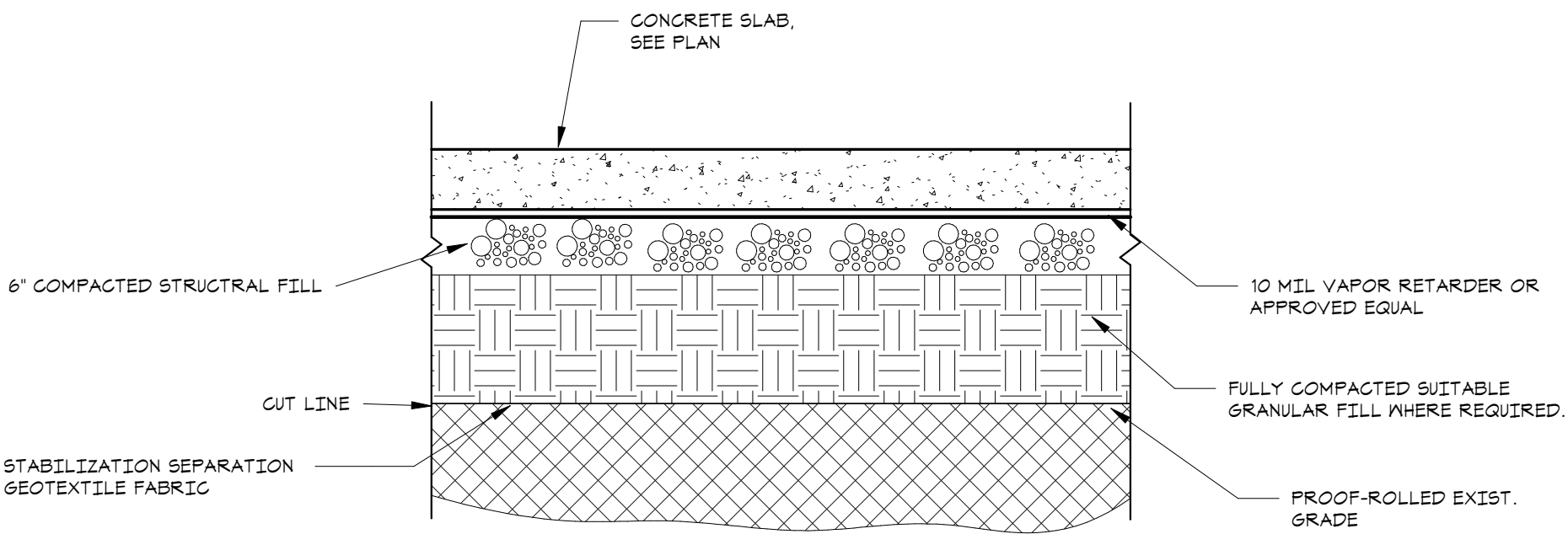
SYMBOLS, ABBREVIATIONS,  
GENERAL NOTES & DESIGN  
CRITERIA

Drawing Number

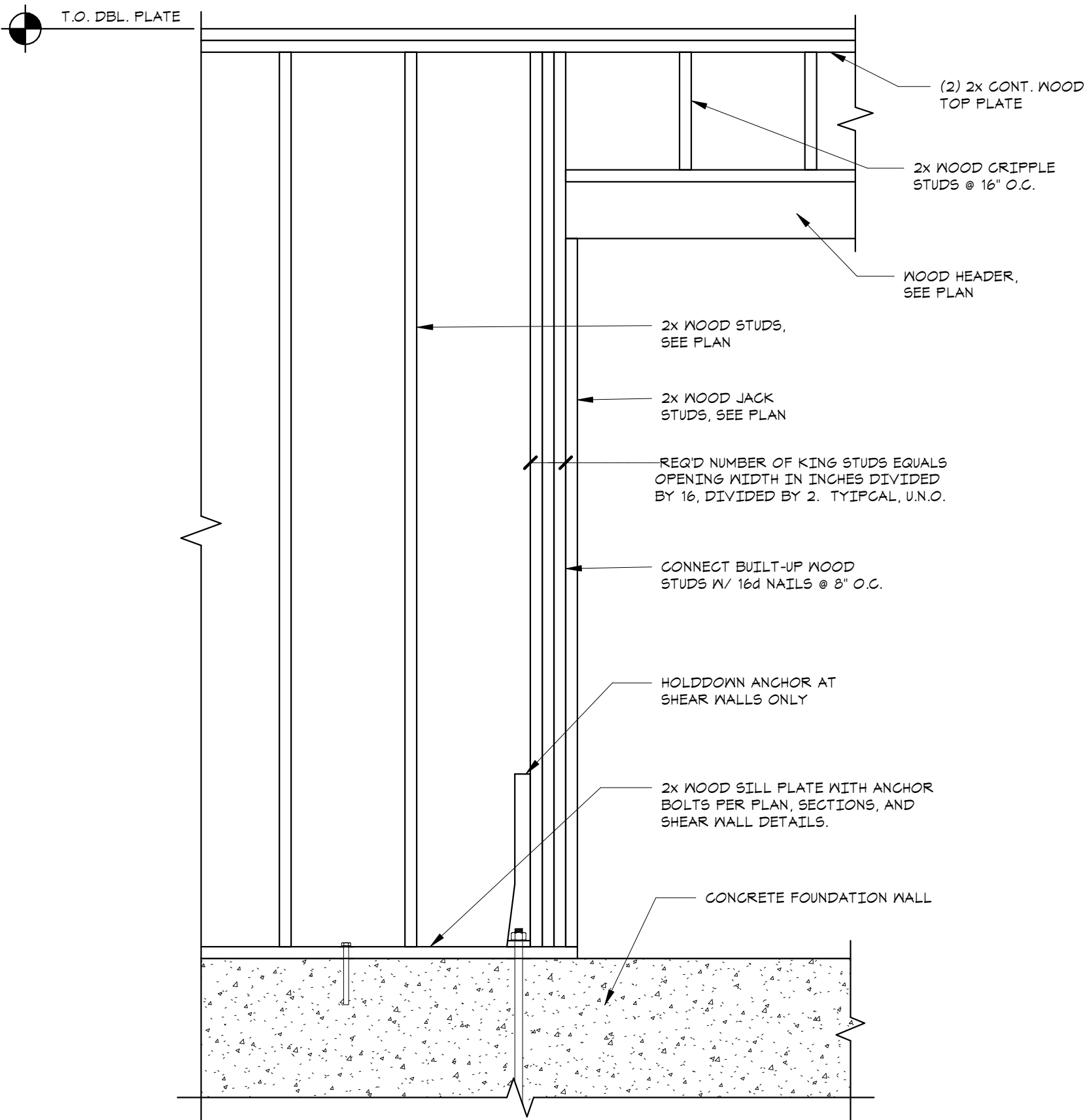
S0-01

REINFORCING BAR EMBEDMENT / LAP SPLICE SCHEDULE																
BAR SIZE	CONCRETE COVER < 1 1/2"								CONCRETE COVER ≥ 1 1/2"							
	TOP BARS				OTHER BARS				TOP BARS				OTHER BARS			
	3,000 psi		4,000 psi		3,000 psi		4,000 psi		3,000 psi		4,000 psi		3,000 psi		4,000 psi	
	EMBED.	LAP	EMBED.	LAP	EMBED.	LAP	EMBED.	LAP	EMBED.	LAP	EMBED.	LAP	EMBED.	LAP	EMBED.	LAP
#3	13"	17"	12"	15"	12"	13"	12"	12"	13"	17"	12"	15"	12"	13"	12"	12"
#4	22"	28"	19"	24"	17"	22"	15"	19"	17"	23"	15"	20"	13"	17"	12"	15"
#5	32"	41"	28"	36"	24"	32"	21"	28"	22"	28"	19"	24"	17"	22"	15"	19"
#6	43"	56"	37"	48"	33"	43"	29"	37"	26"	34"	22"	29"	20"	26"	17"	22"
#7	64"	90"	60"	78"	53"	64"	46"	60"	43"	55"	37"	48"	33"	43"	28"	37"
#8	86"	111"	74"	96"	66"	86"	57"	64"	54"	70"	47"	60"	41"	54"	36"	47"

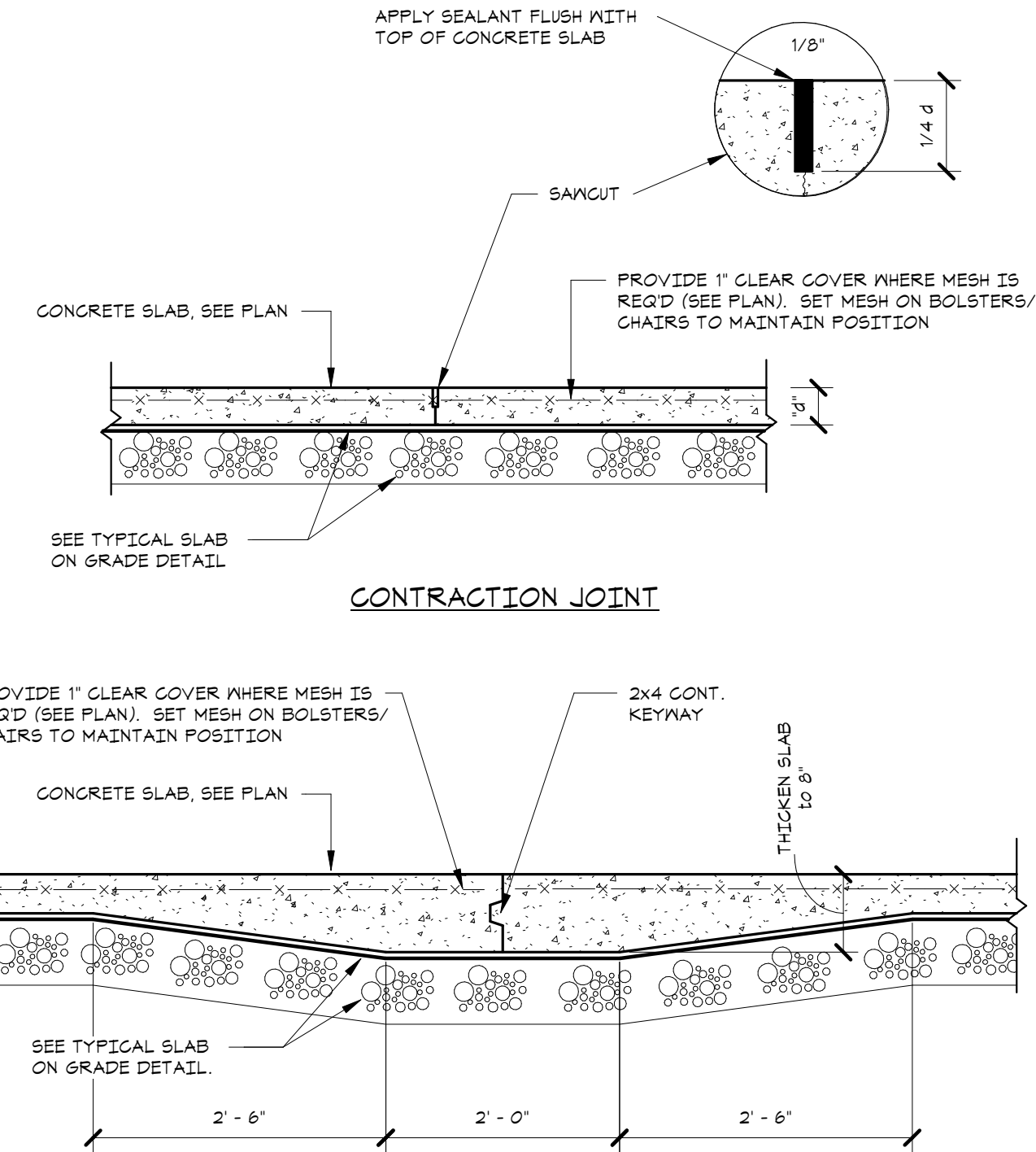
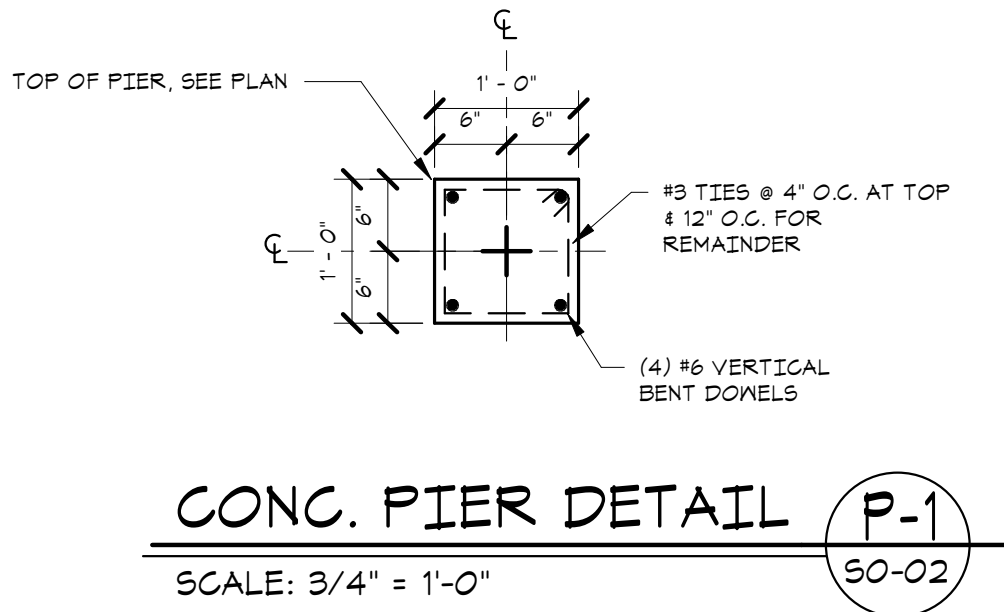
- NOTES:
- 1.) TOP BARS ARE THOSE WHICH ARE ORIENTED HORIZONTALLY AND HAVE MORE THAN 12" OF CONCRETE BELOW THE BAR.
  - 2.) EMBEDMENT AND LAP SPLICE LENGTHS SHOWN ARE APPLICABLE TO ASTM A615 GR. 60 REINFORCING BARS. FOR GR. 75 REINFORCING BARS, MULTIPLY LENGTHS BY 1.25.
  - 3.) TABULATED VALUES ARE BASED ON CONCRETE COVER CONTROLLING. FOR BARS WITH CENTER-TO-CENTER SPACING LESS THAN 1.0D<sub>B</sub> (BAR DIAMETER) PLUS TWICE THE CONCRETE COVER, NOTIFY THE ENGINEER.
  - 4.) WHERE CONCRETE DEPTH PRECLUDES FULL EMBEDMENT, PROVIDE 90 DEGREE HOOK.
  - 5.) PROVIDE CONCRETE PROTECTION FOR REINFORCEMENT AS DESCRIBED IN ACI 318, CHAPTER 7.
  - 6.) TABULATED VALUES ARE BASED ON NORMAL WEIGHT AGGREGATE. FOR LIGHTWEIGHT AGGREGATE, MULTIPLY LENGTHS BY 1.33.



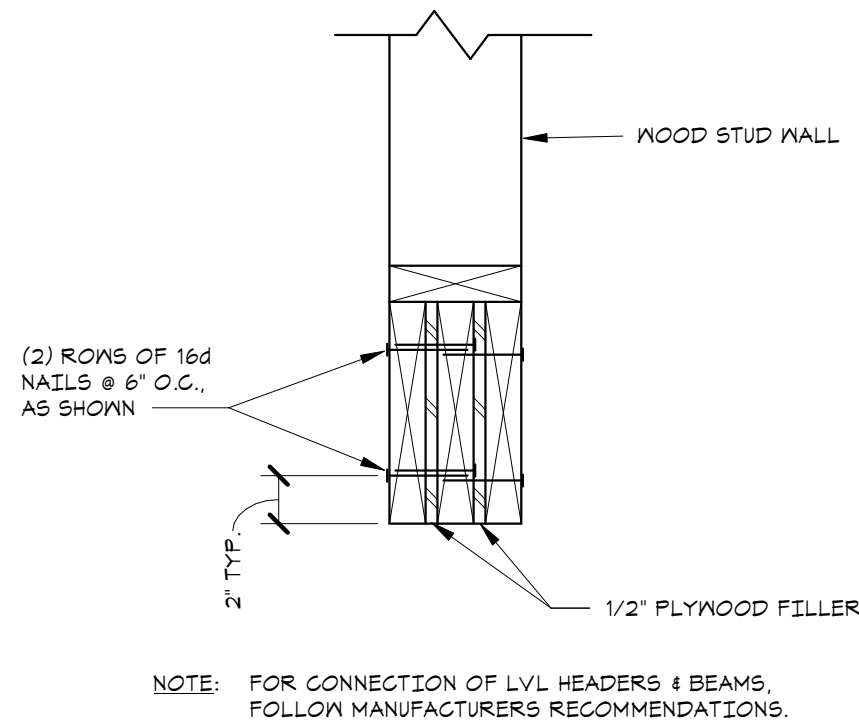
TYPICAL SLAB BASE DETAIL



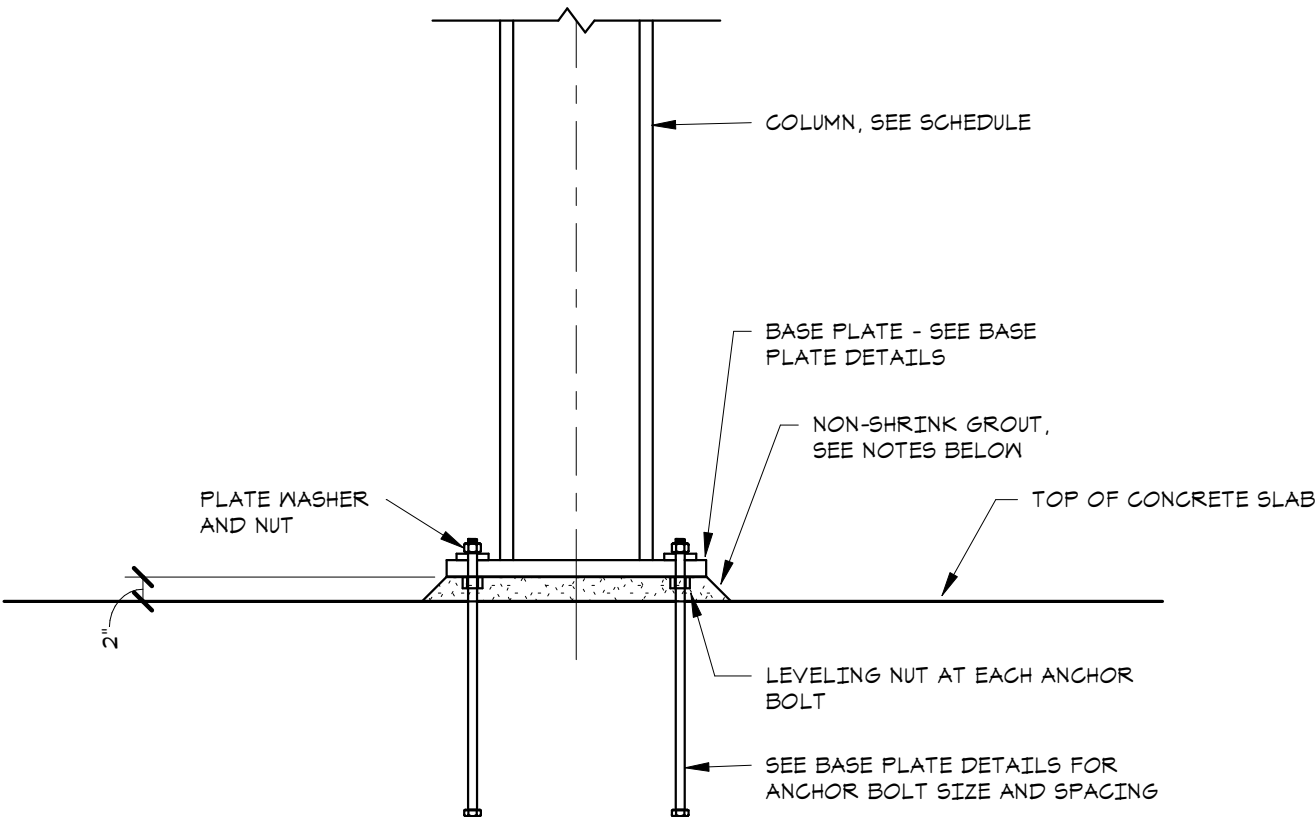
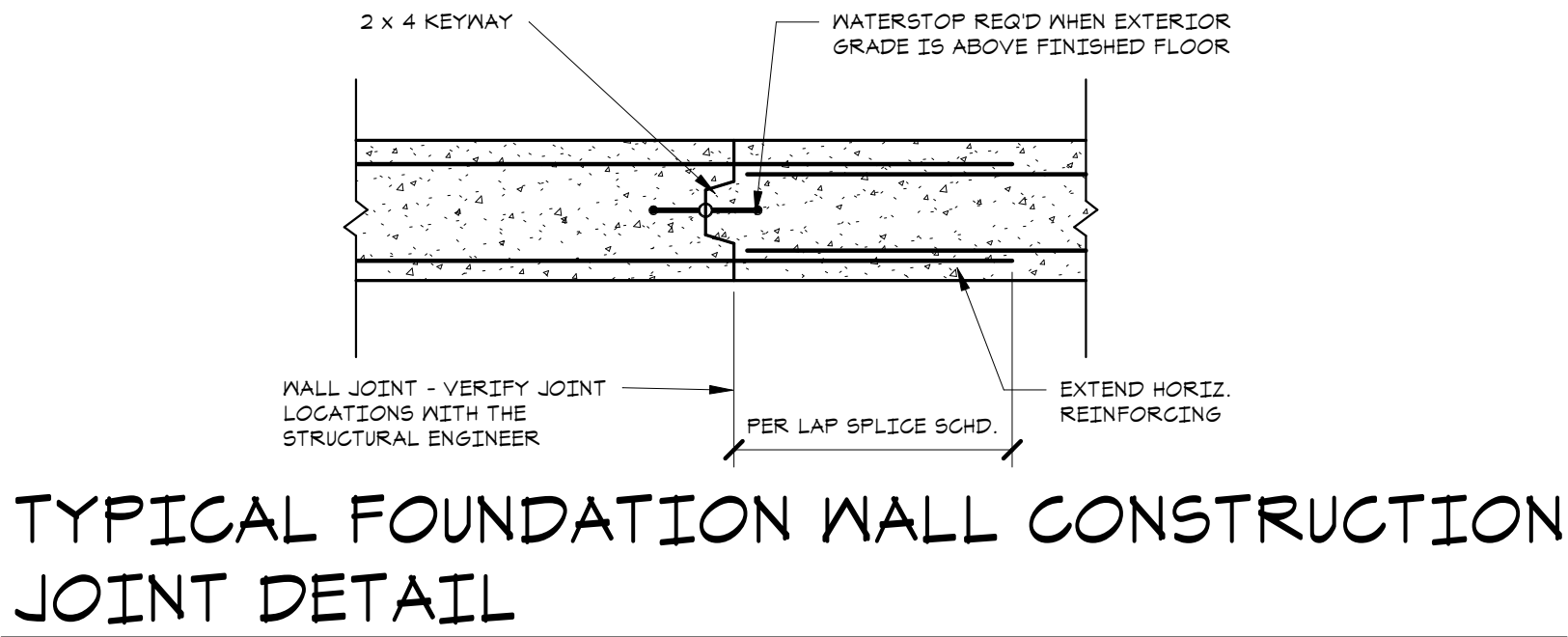
TYPICAL FRAMING ELEVATION AT OPENING DETAIL



TYPICAL CONTROL JOINTS

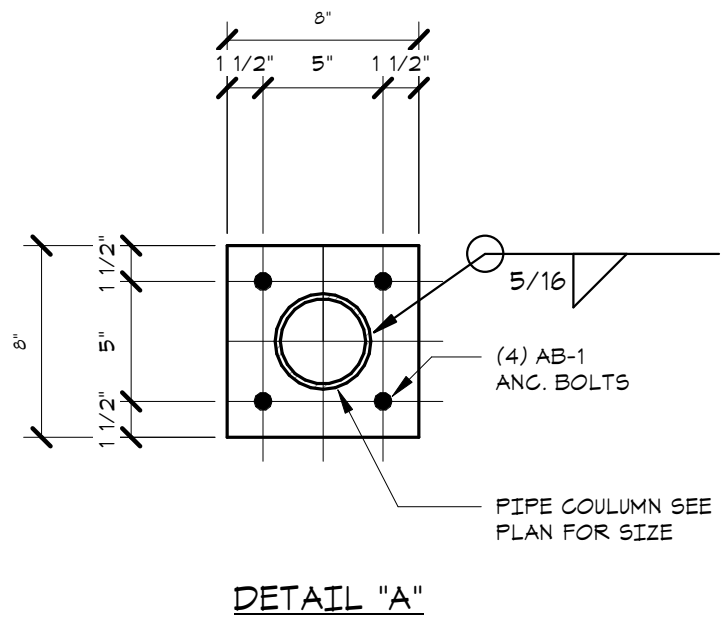


TYPICAL MULTIPLE PLY WOOD BEAM/HEADER DETAIL



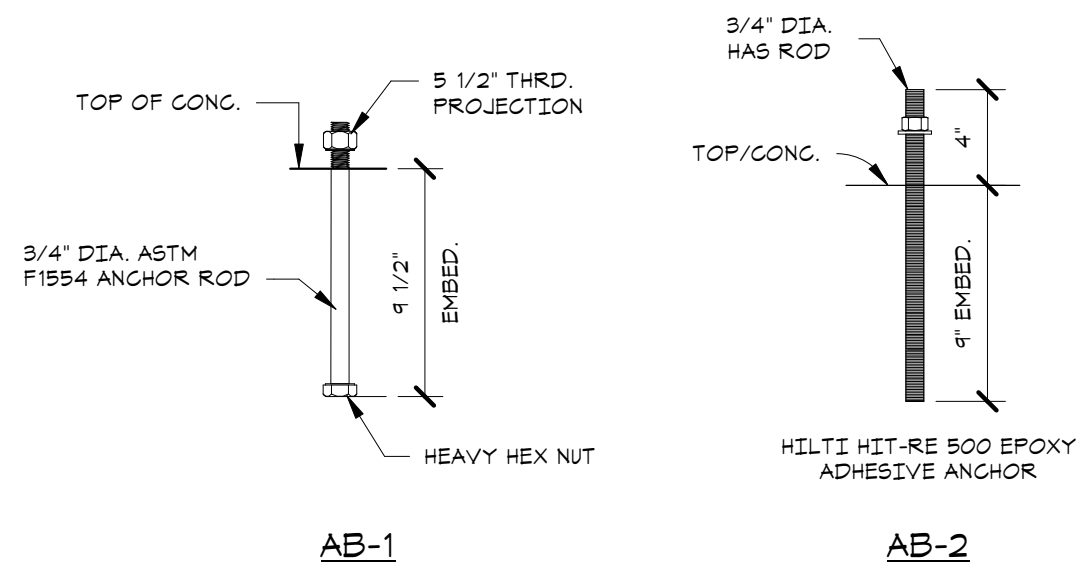
TYPICAL COLUMN BASE DETAIL

- 1.) SET COLUMN PLUMB - ADJUST LEVELING NUTS AS REQUIRED
- 2.) IF CLEARANCE IS INSUFFICIENT FOR ADJUSTMENT OF NUTS, SUPPORT BASEPLATE WITH STEEL SHIMS.
- 3.) DRY-PACK BELOW BASE PLATE WITH NON-SHRINK, NON-METALLIC GROUT



BASE PLATE DETAILS

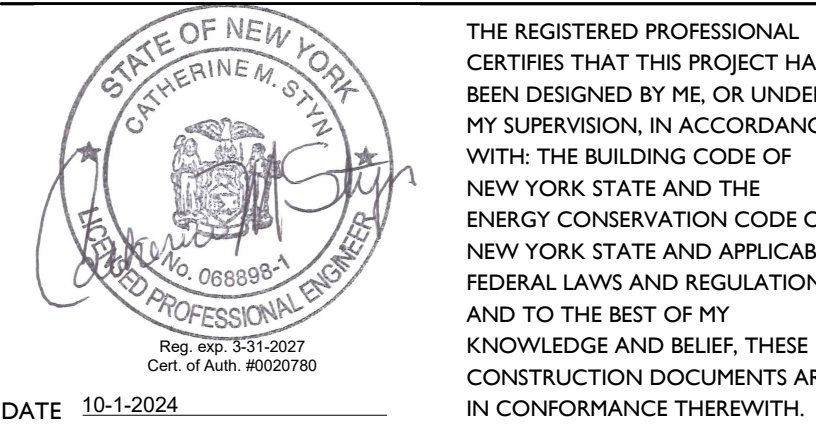
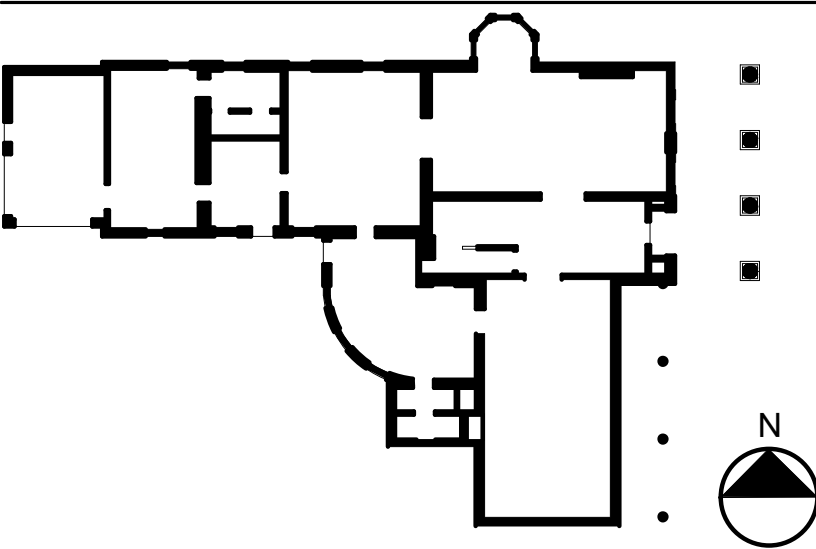
SCALE: 1/2" = 1'-0"



ANCHOR BOLT DETAILS

SCALE: 1/2" = 1'-0"

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PROJECT NO. 051037  
LANFORD REHAB  
PHASE II EXTERIOR  
194 CENTRAL AVENUE  
FREDONIA, NEW YORK 14063

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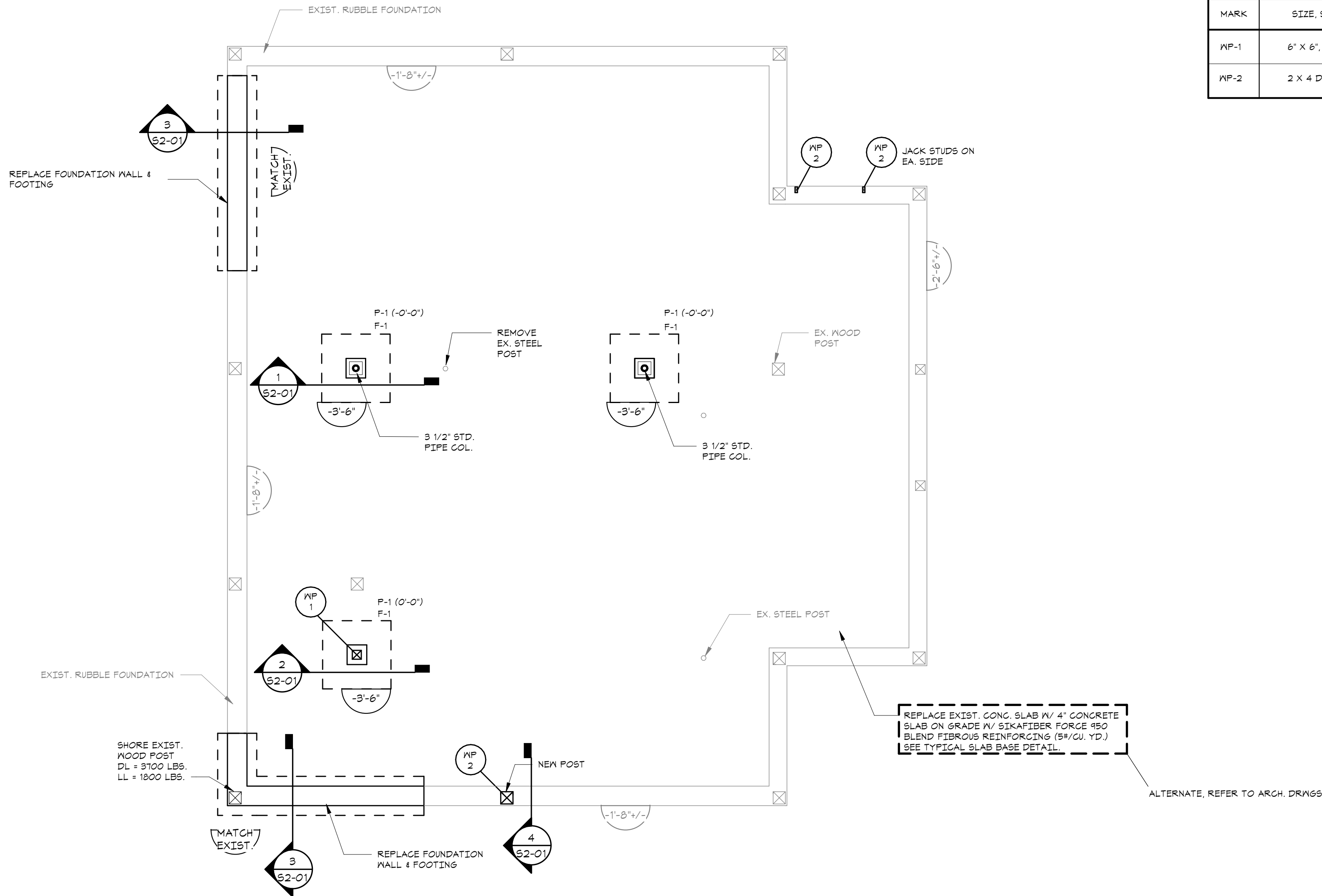
Revision Schedule		
Revision Number	Date	Description

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Project Number:	FBA PROJECT #00388.00	Scale: As indicated
Drawn By:	NF	Checked By: CS

Drawing Title  
TYPICAL DETAILS

Drawing Number

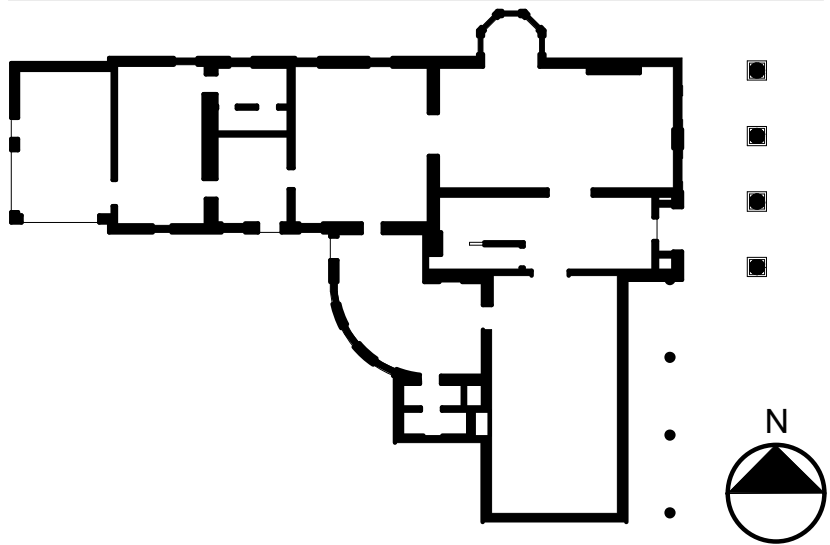
S0-02



CONCRETE FOOTING SCHEDULE				
FOOTINGS DESIGNED FOR 1500 PSF BEARING CAPACITY				
MARK	LENGTH	WIDTH	THICKNESS	REINFORCING
F-1	3' - 6"	3' - 6"	12"	(4) #5 EACH WAY, BOT.

WOOD POST SCHEDULE	
MARK	SIZE, SPECIES, & GRADE
WP-1	6" X 6", DOUG FIR-LARCH, No. 1
WP-2	2 X 4 DOUG FIR-LARCH, No. 1

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**PROJECT NO. 051037**  
**LANFORD REHAB**  
**PHASE II EXTERIOR**

194 CENTRAL AVENUE  
FREDONIA, NEW YORK 14063

100% BID DOCUMENTS

Revision Schedule		
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Drawn By:	Checked By:	
NF	CS	

Drawing Title  
**FOUNDATION / FIRST FLOOR PLAN**

Drawing Number  
**S1-01**

1

S1-01

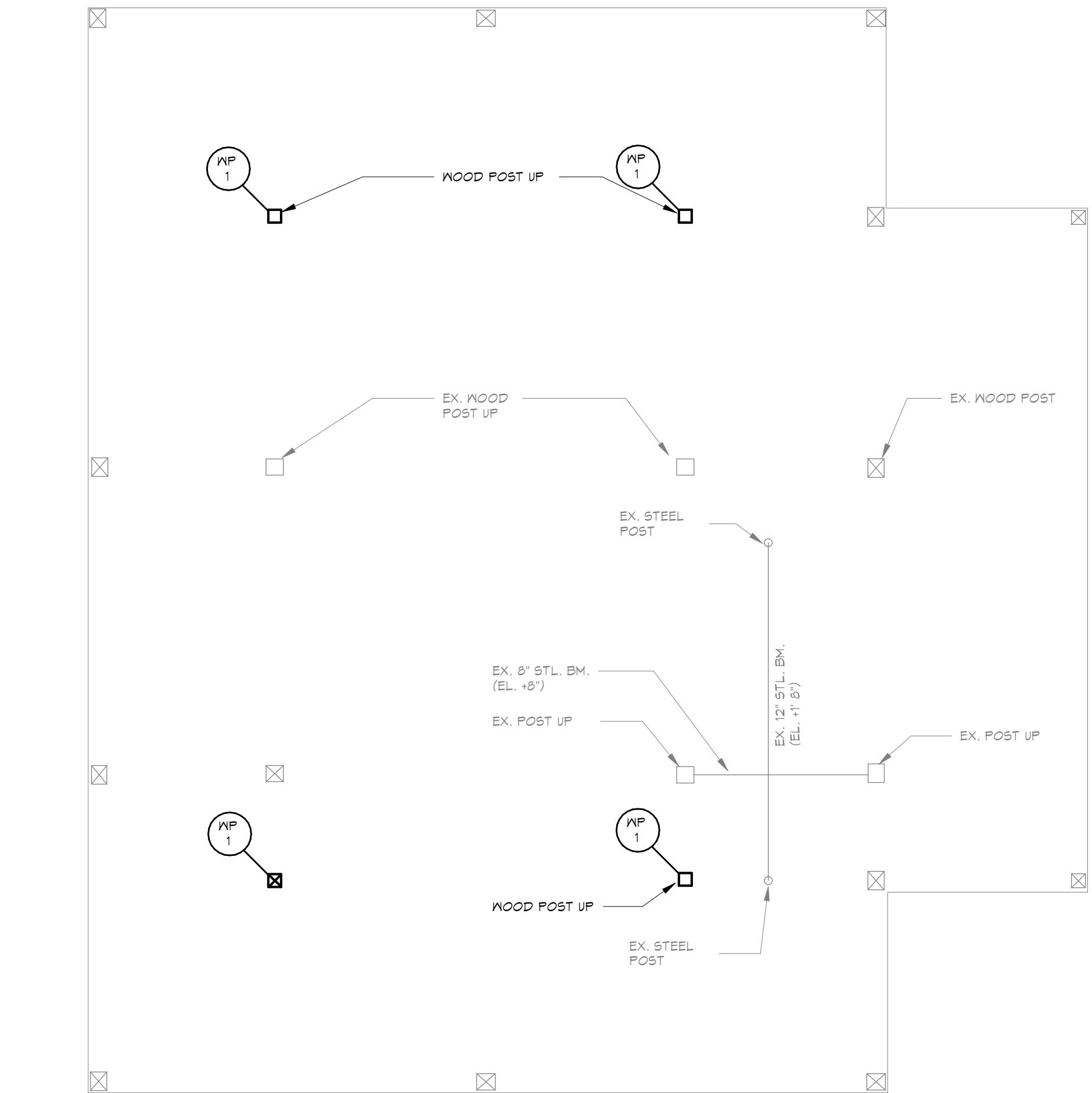
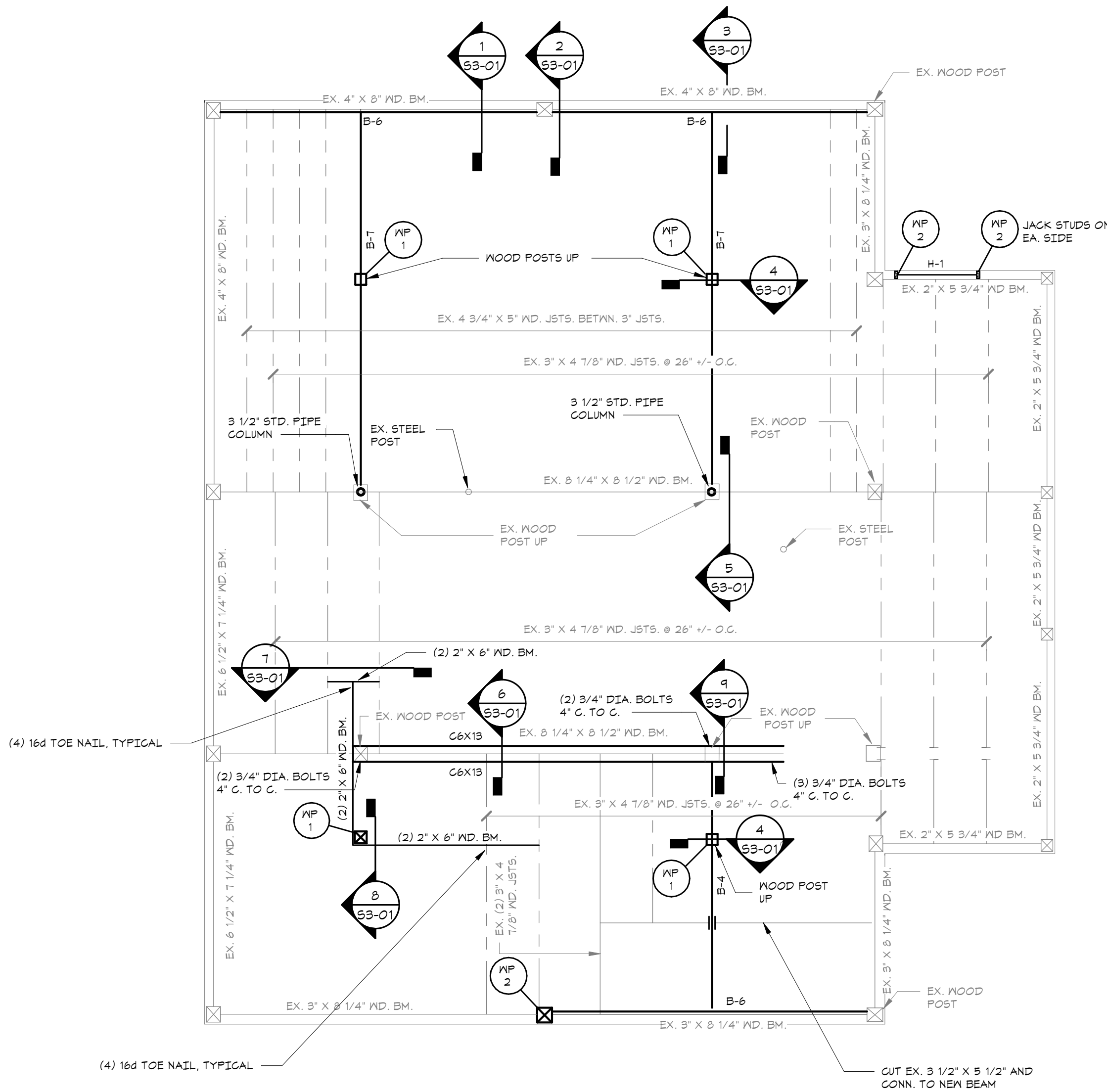
**FOUNDATION / FIRST FLOOR PLAN**

SCALE: 1/4" = 1'-0"

NOTES:

- FLOOR CONSTRUCTION SHALL BE 4" CONCRETE SLAB ON GRADE W/ SIKAFIBER FORCE 450 BLEND FIBROUS REINFORCING (5#/CU. YD.) SEE TYPICAL SLAB BASE DETAIL.
- FINISH FLOOR ELEVATION SHALL BE 0'-0". ACTUAL ELEVATION = XXXX'.
- CONSTRUCTION & CONTROL JOINTS ARE NOTED THUS, C.J., ON PLAN. SEE TYPICAL DETAILS.
- F-X DENOTES CONCRETE FOOTING. SEE FOOTING SCHEDULE FOR SIZE & REINFORCING.
- FOUNDATIONS HAVE BEEN DESIGNED BASED ON A PRESUMPTIVE LOAD-BEARING VALUE OF 1,500PSF ASSUMING CLAY, SANDY CLAY, SILTY CLAY, CLAYEY SILT, SILT OR SANDY SILT.
- BOTTOM OF FOOTING/UNDERPINNING ELEVATIONS SHALL BE ASSUMED AT -4'-0" FROM FINISH FLOOR ELEVATION (0'-0") UNLESS NOTED OTHERWISE ON PLAN. SHOWN "X-X" FROM FINISH FLOOR ELEVATION (0'-0"). ACTUAL ELEVATION TO BE DETERMINED IN FIELD.
- P-X DENOTED CONCRETE PIER. SEE PIER DETAILS FOR SIZE & REINFORCING.
- REFER TO DRAWINGS S0-01 & S0-02 FOR GENERAL NOTES, SYMBOLS, ABBREVIATIONS & TYPICAL DETAILS TO BE INCORPORATED INTO THE WORK.



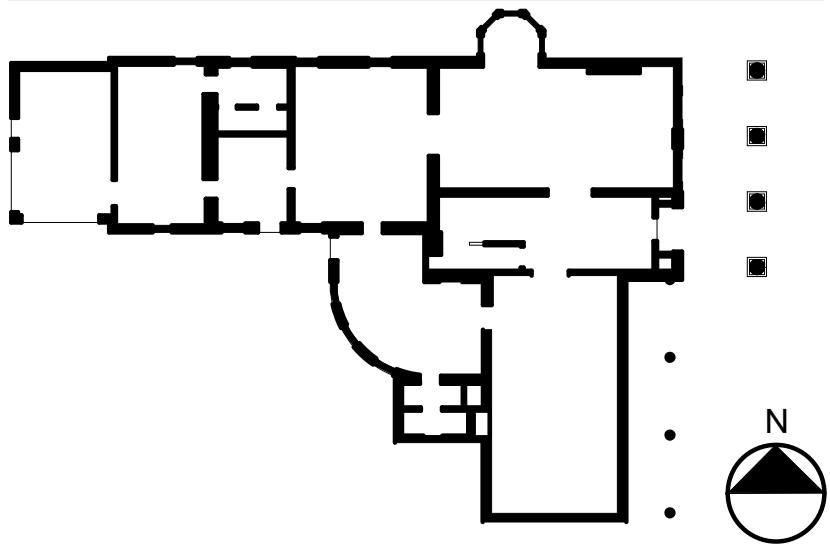


WOOD HEADER SCHEDULE	
MARK	SIZE, SPECIES, & GRADE
H-1	(2) 2 X 8 DOUG FIR - LARCH, No. 2

WOOD BEAM SCHEDULE	
MARK	SIZE, SPECIES, & GRADE
B-1	2 X 8 DOUG FIR LARCH, No.2
B-2	1 3/4" X 5 1/2" LVL
B-3	(2) 1 3/4" X 7 1/4" LVL
B-4	(3) 1 3/4" X 7 1/4" LVL
B-5	1 3/4" X 9 1/2" LVL
B-6	(2) 1 3/4" X 11 1/8" LVL
B-7	(3) 1 3/4" X 14" LVL

WOOD POST SCHEDULE	
MARK	SIZE, SPECIES, & GRADE
WP-1	6" X 6", DOUG FIR LARCH, No. 1
WP-2	2 X 4 DOUG FIR LARCH, No. 1

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DATE 10-1-2024

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Revision Schedule		
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Project Number:	Scale:	
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NF	CS	

Drawing Title  
SECOND FLOOR FRAMING PLAN

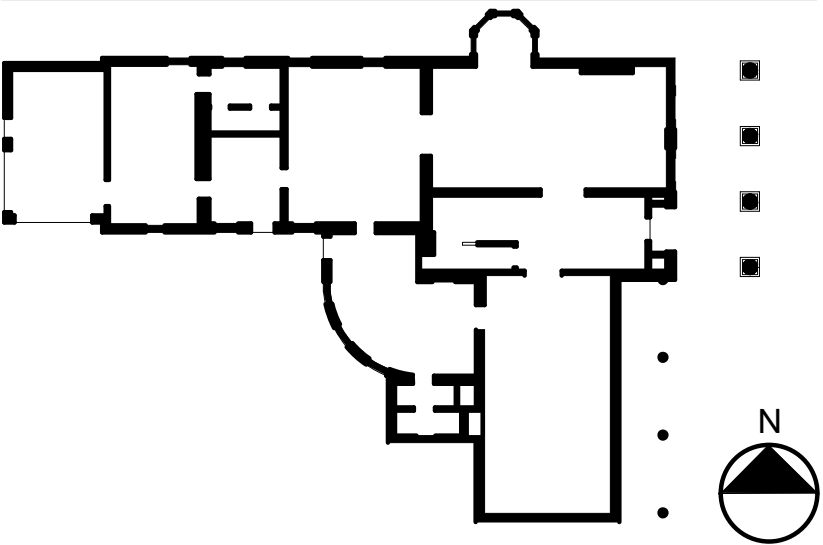
Drawing Number  
S1-02

WOOD HEADER SCHEDULE	
MARK	SIZE, SPECIES, & GRADE
H-1	(2) 2 X 8 DOUG FIR LARCH, No. 2

WOOD BEAM SCHEDULE	
MARK	SIZE, SPECIES, & GRADE
B-1	2 X 8 DOUG FIR LARCH, No. 2
B-2	1 3/4" X 5 1/2" LVL
B-3	(2) 1 3/4" X 7 1/4" LVL
B-4	(3) 1 3/4" X 7 1/4" LVL
B-5	1 3/4" X 9 1/2" LVL
B-6	(2) 1 3/4" X 11 7/8" LVL
B-7	(3) 1 3/4" X 14" LVL

WOOD POST SCHEDULE	
MARK	SIZE, SPECIES, & GRADE
WP-1	6" X 6", DOUG FIR LARCH, No.1
WP-2	2 X 4 DOUG FIR LARCH, No.1

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DATE 10-1-2024

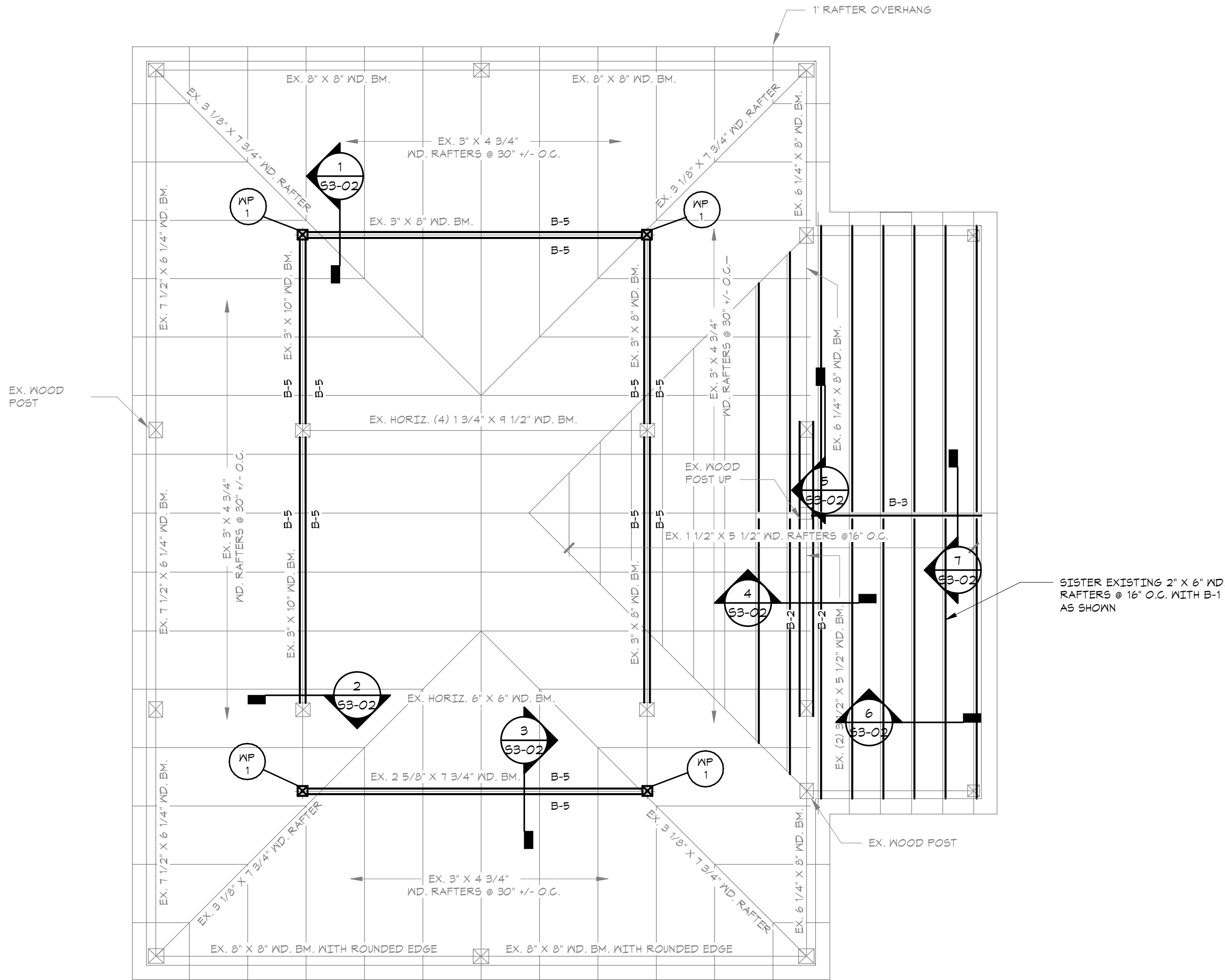
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1

S1-03

ROOF FRAMING PLAN

NORTH

SCALE: 1/4" = 1'-0"

NOTES:  
1. CONTRACTOR TO VERIFY ALL CONDITIONS AND DIMENSIONS IN THE FIELD. IMMEDIATELY NOTIFY ARCHITECT OF ANY DISCREPANCIES FOUND.  
2. REFER TO DRAWINGS S0-01 & S0-02 FOR GENERAL NOTES, SYMBOLS, ABBREVIATIONS & TYPICAL DETAILS TO BE INCORPORATED INTO THE WORK.

PROJECT NO. 051037  
LANFORD REHAB  
PHASE II EXTERIOR  
194 CENTRAL AVENUE  
FREDONIA, NEW YORK 14063

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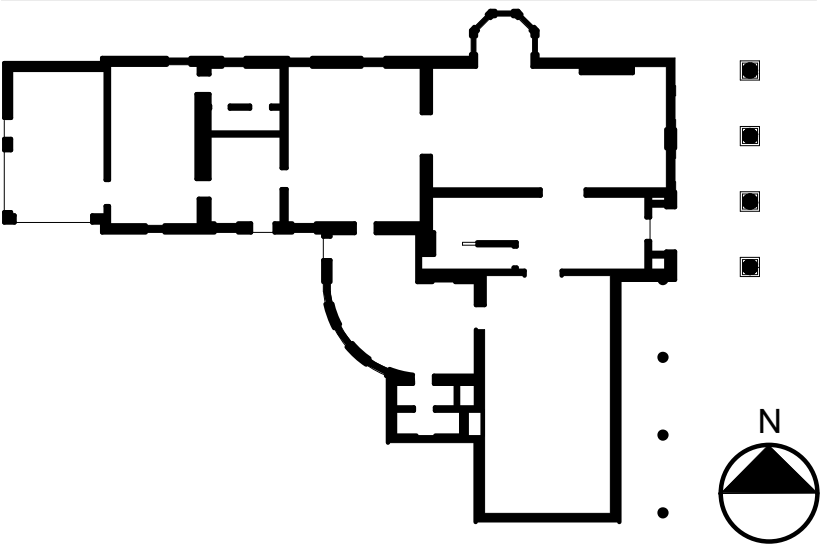
Revision Schedule		
Revision Number	Date	Description

DRAWING ISSUED:		10/1/2024
Project Number:	Scale:	
FBA PROJECT #00388.00	As indicated	
Drawn By:	Checked By:	
NF	CS	

Drawing Title  
ROOF FRAMING PLAN

Drawing Number  
S1-03

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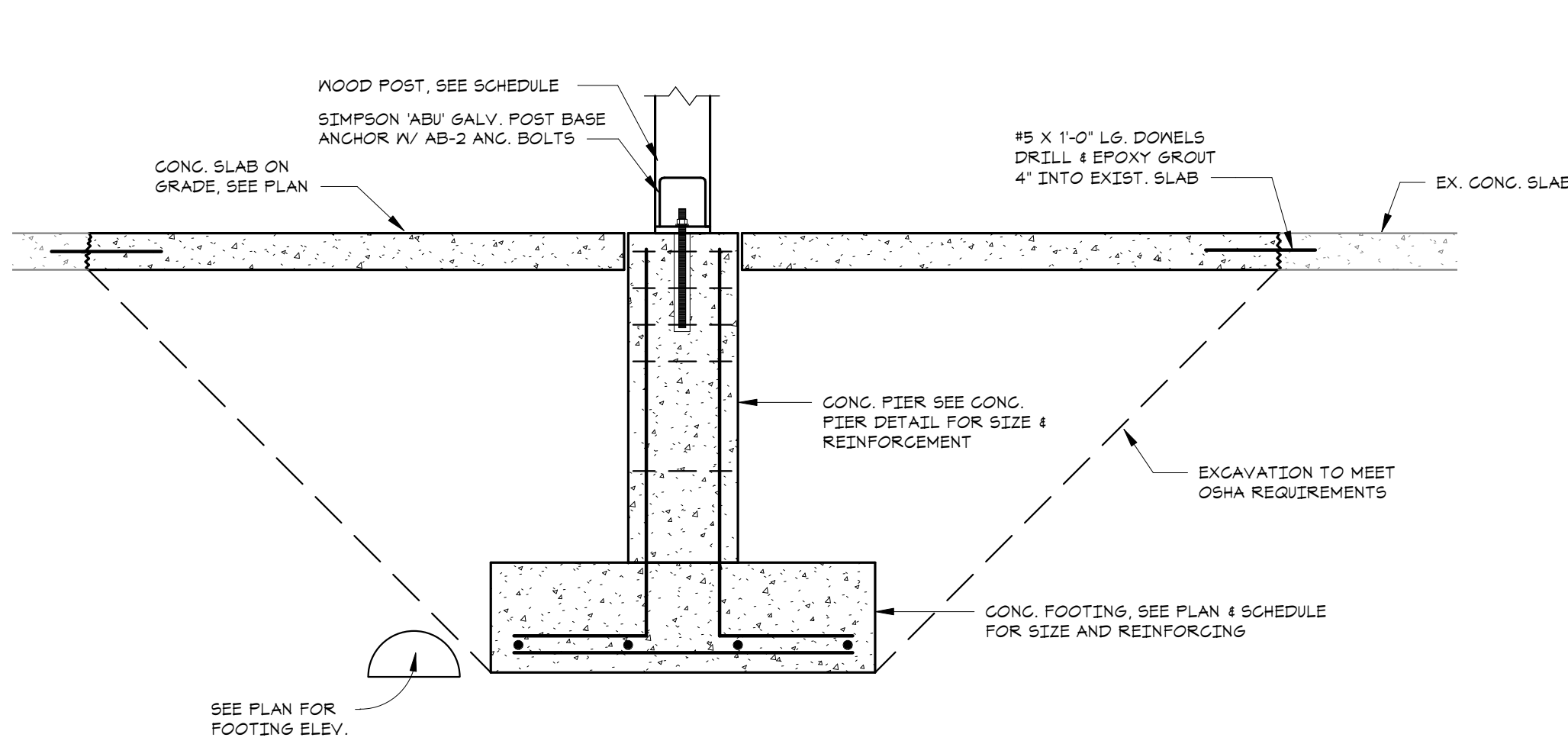
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Revision Number	Date	Description

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FBA PROJECT #00388.00	3/4" = 1'-0"	
Drawn By:	Checked By:	
NF	CS	

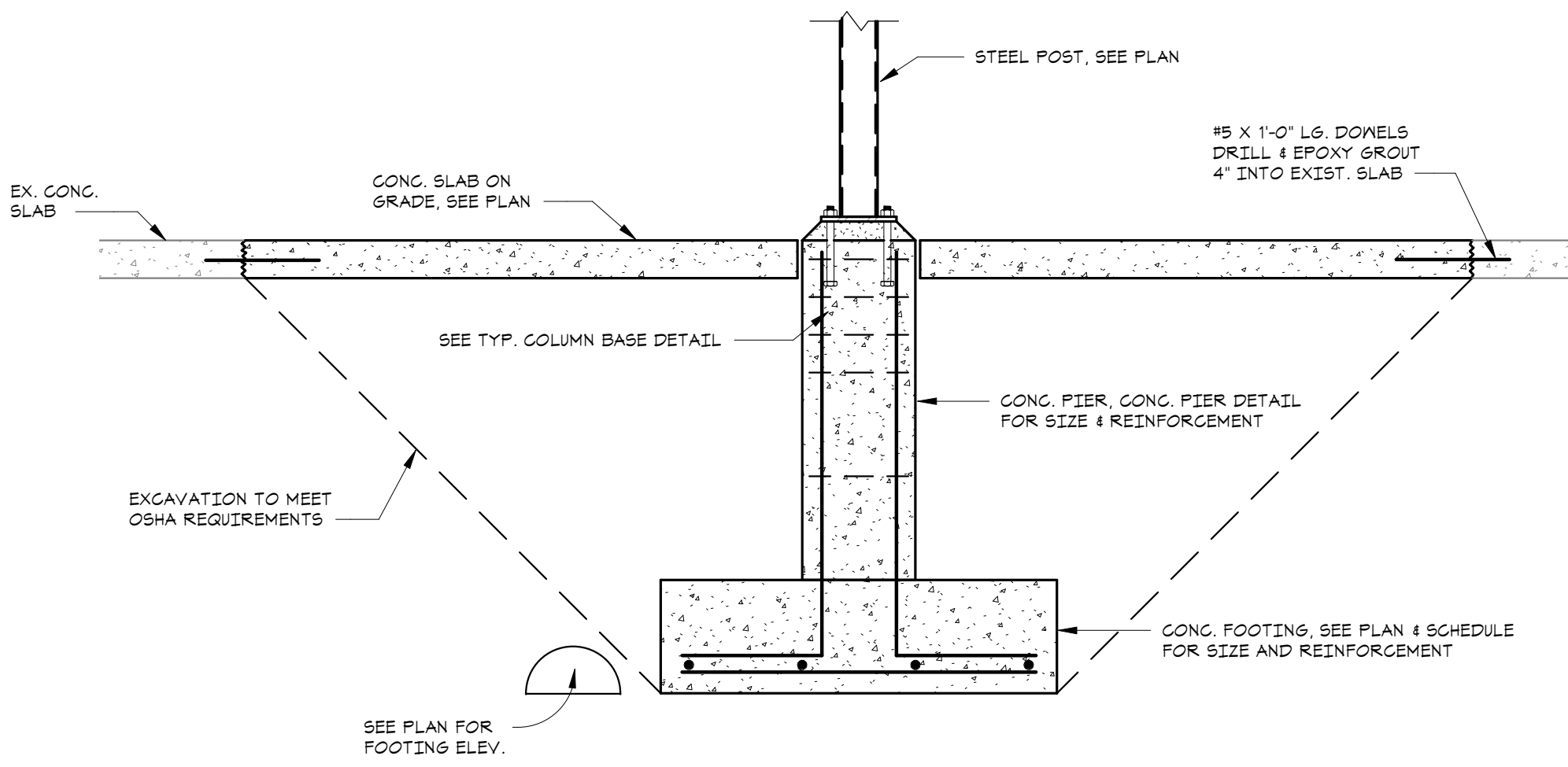
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Drawing Number

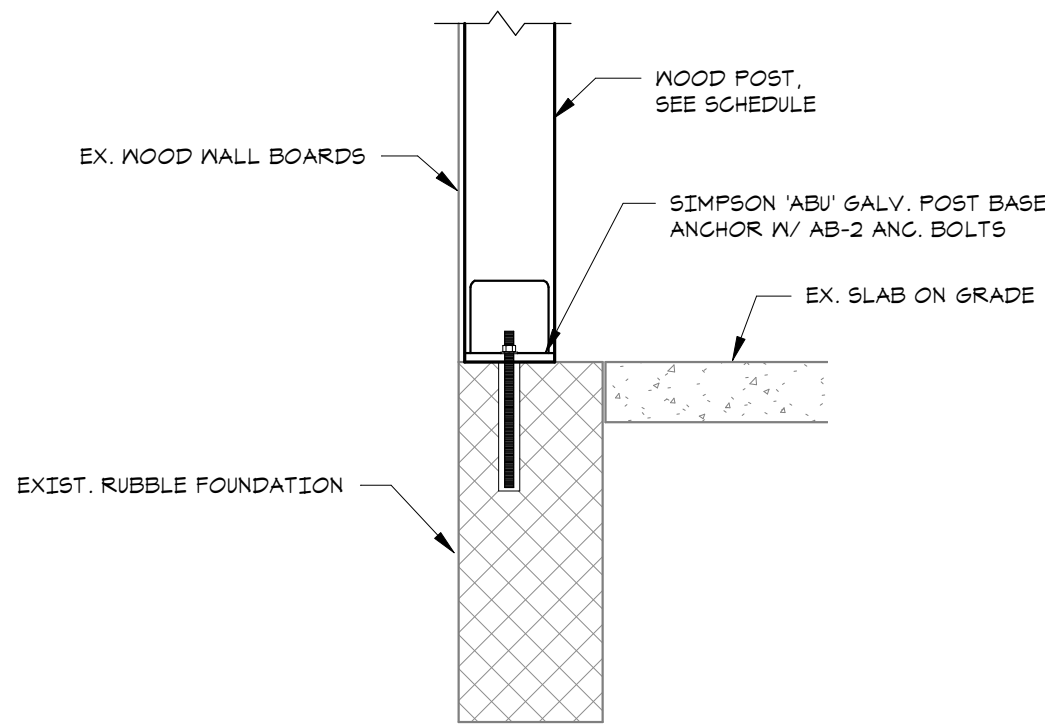
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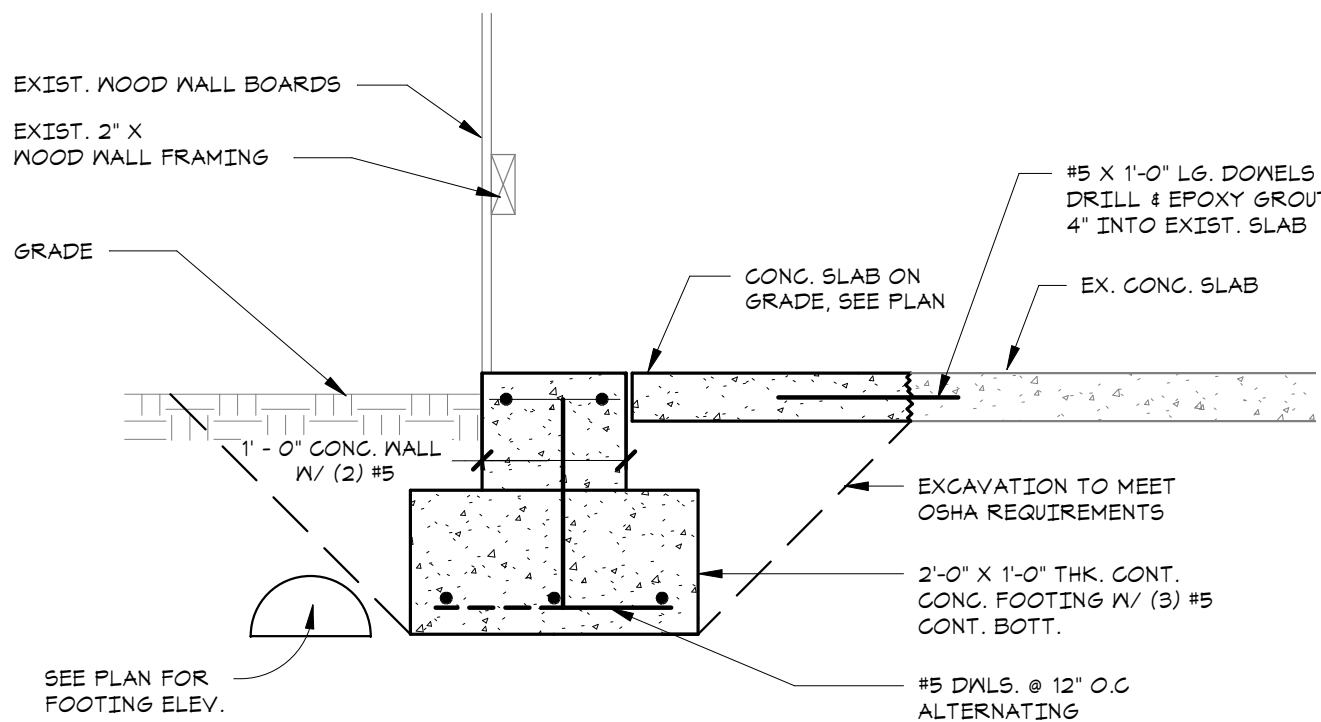
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SECTION 1  
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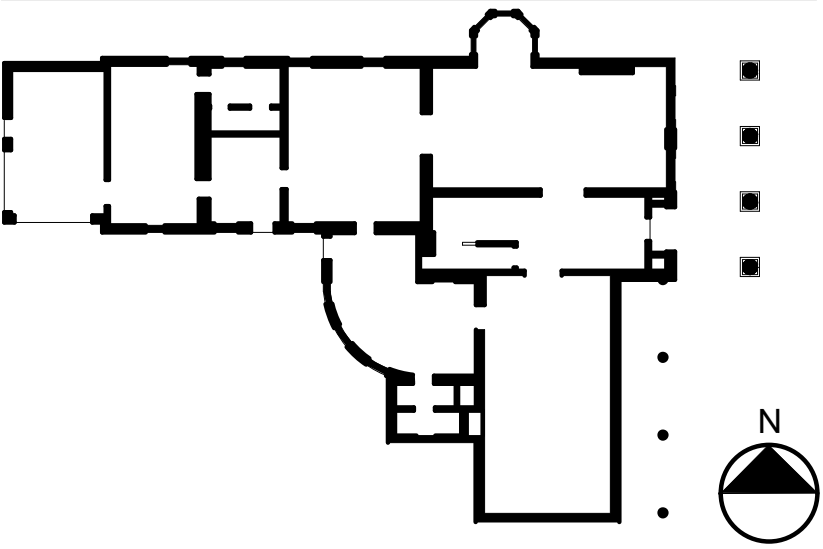


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SECTION 3  
SCALE: 3/4" = 1'-0" S2-01

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PROJECT NO. 051037  
LANFORD REHAB  
PHASE II EXTERIOR

194 CENTRAL AVENUE  
FREDONIA, NEW YORK 14063

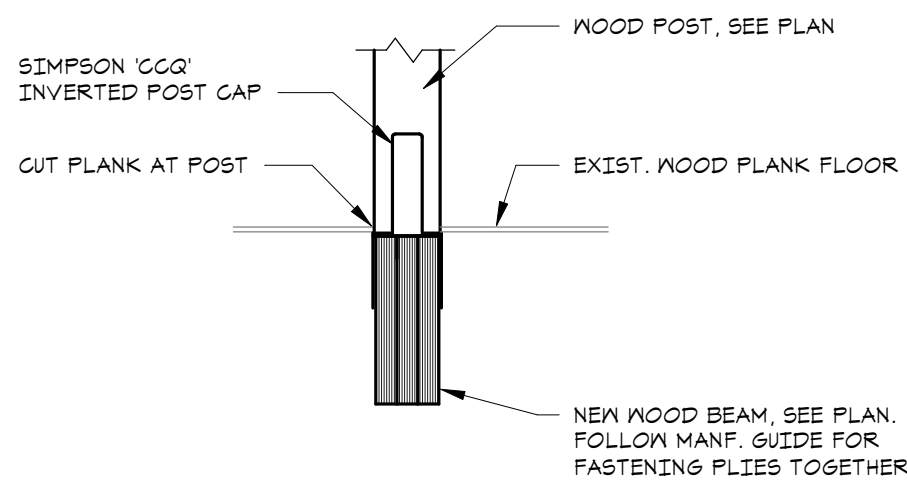
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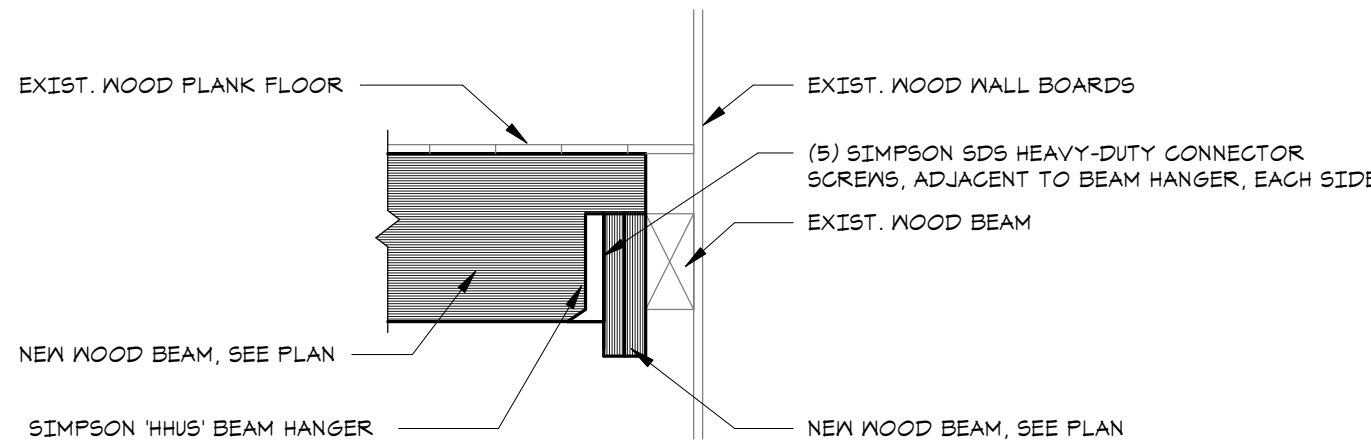
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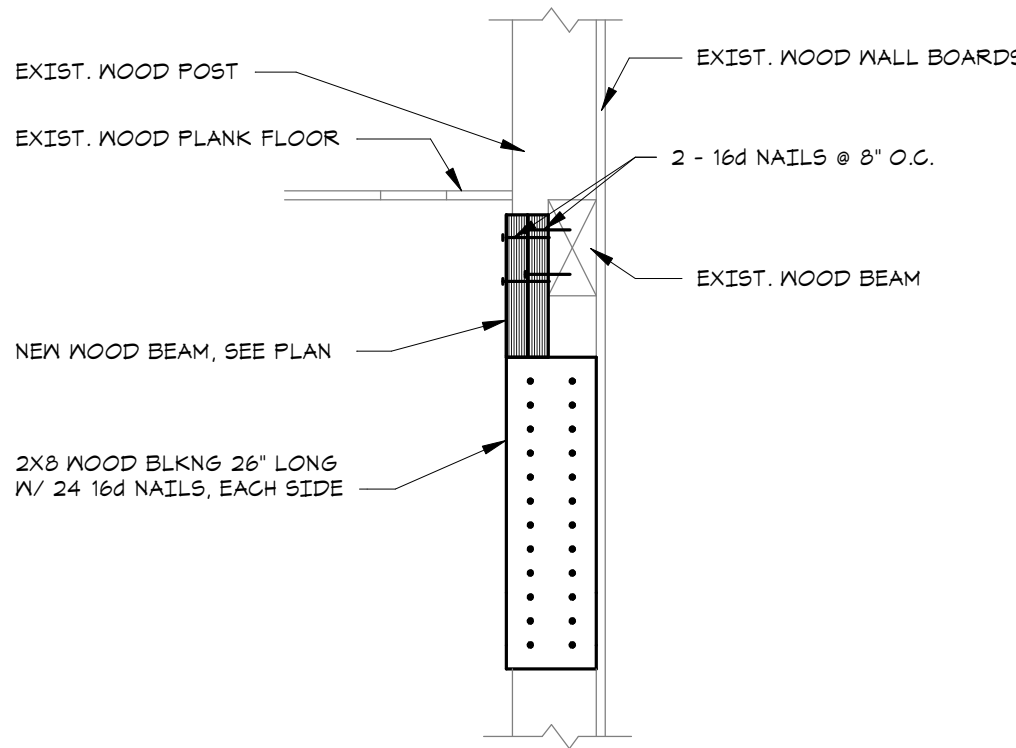
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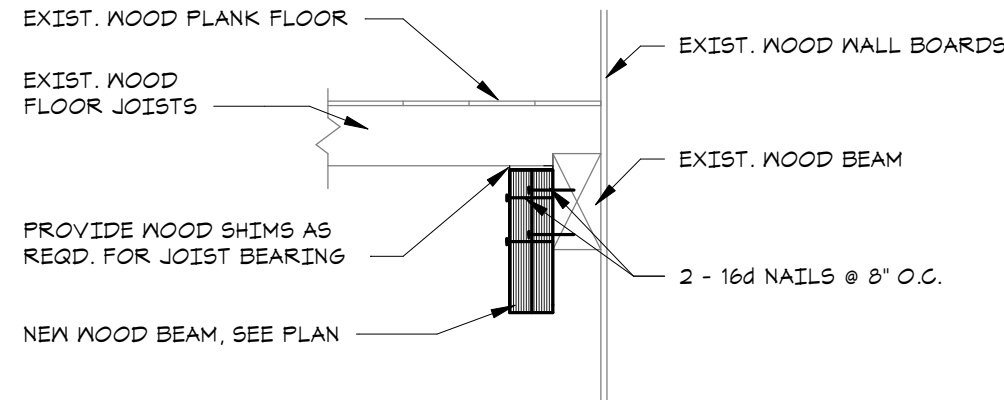
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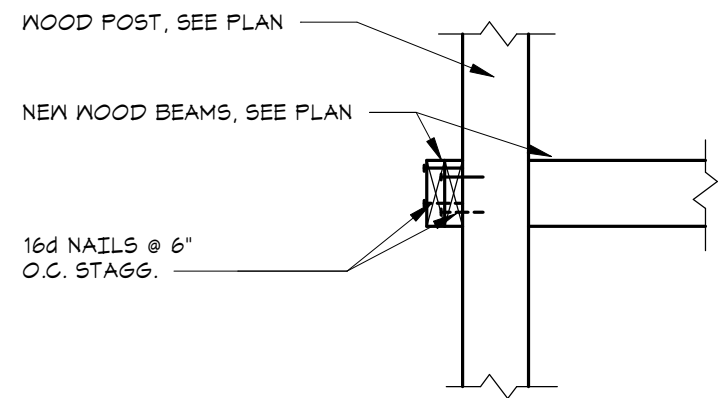
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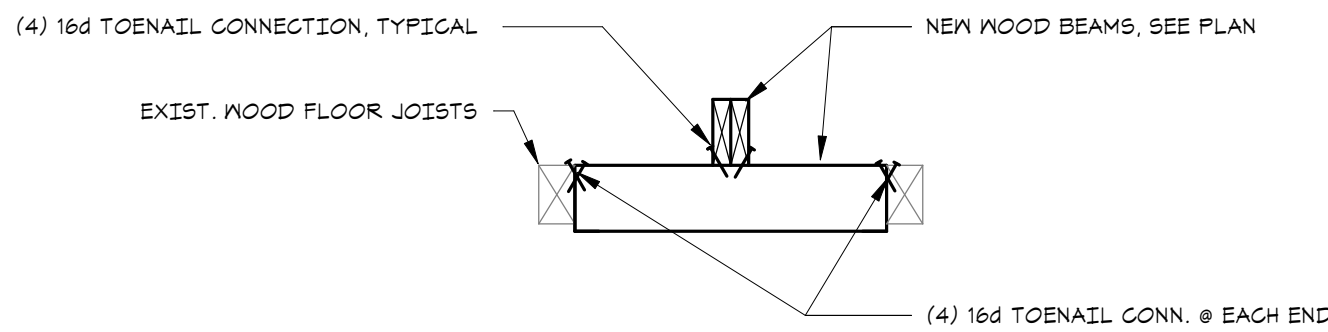
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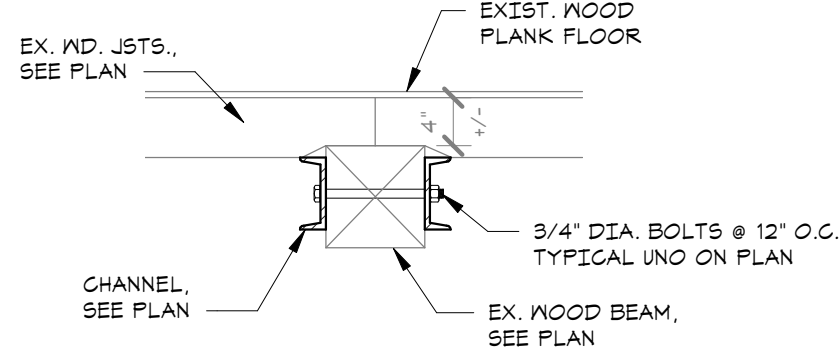
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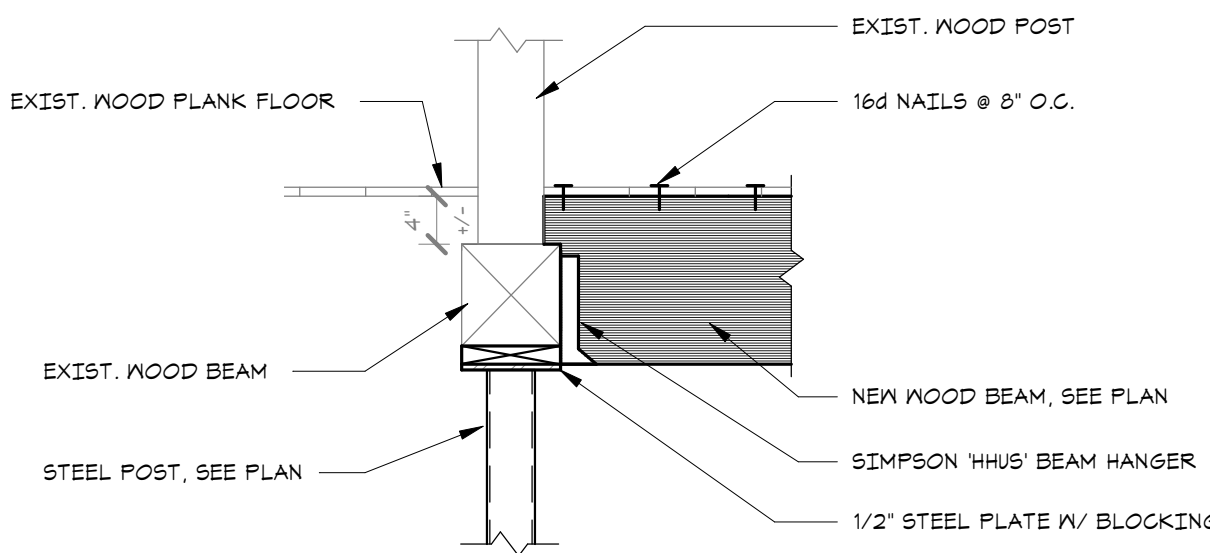
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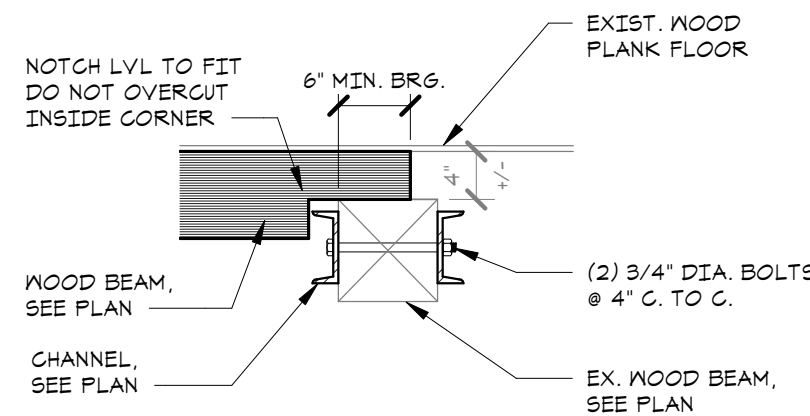
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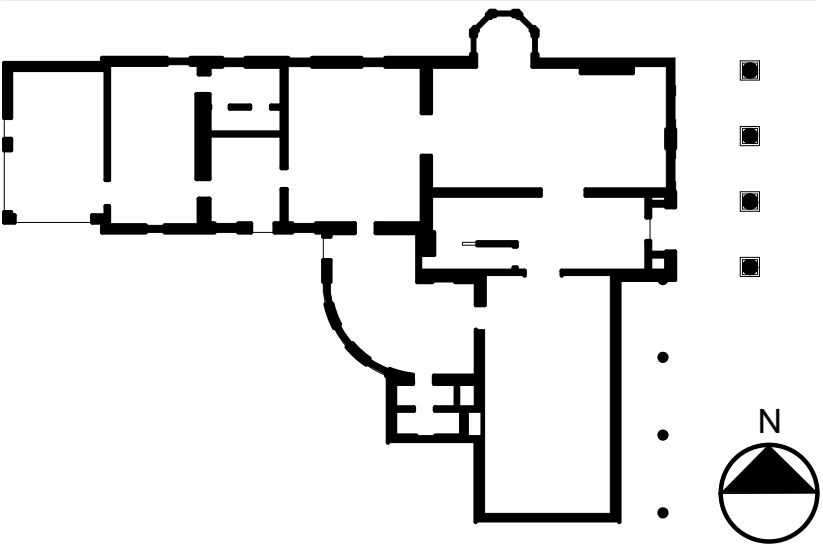


SECTION 5  
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SECTION 9  
SCALE: 3/4" = 1'-0" S3-01

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PROJECT NO. 051037  
LANFORD REHAB  
PHASE II EXTERIOR

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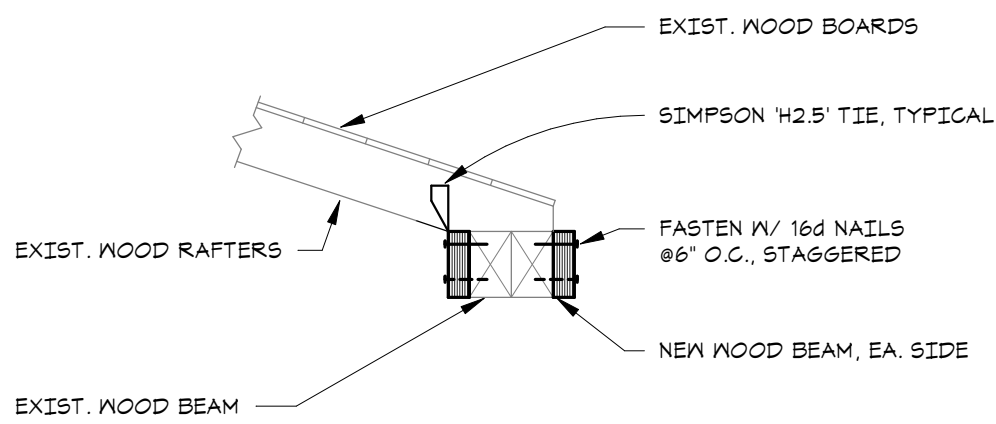
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Revision Schedule		
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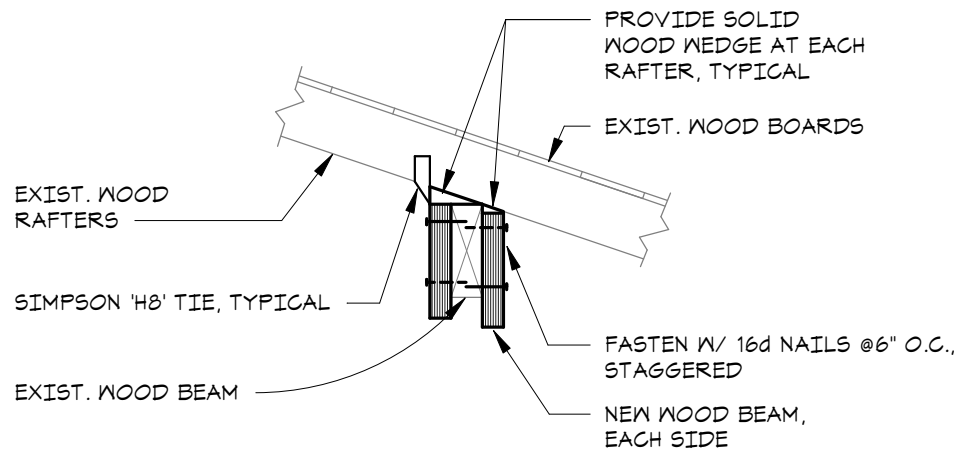
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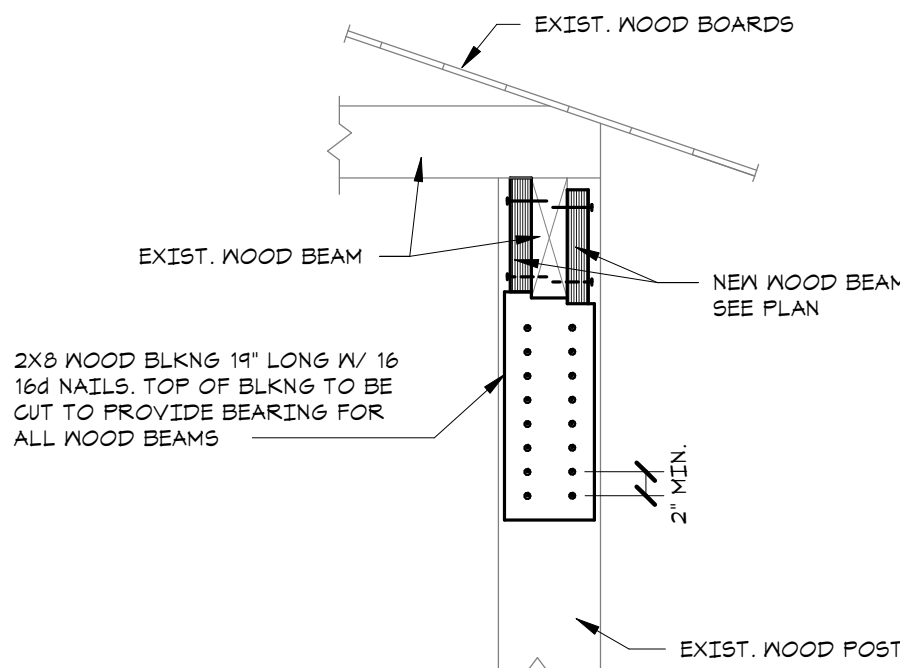
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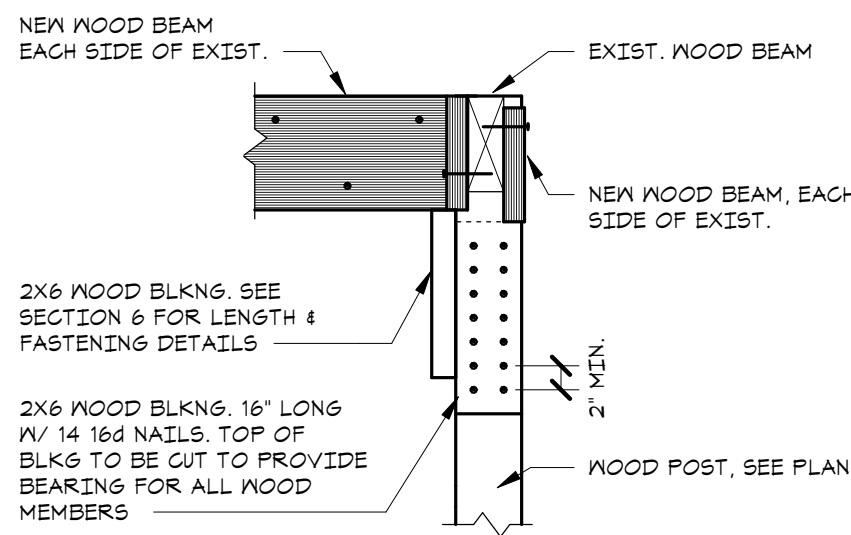
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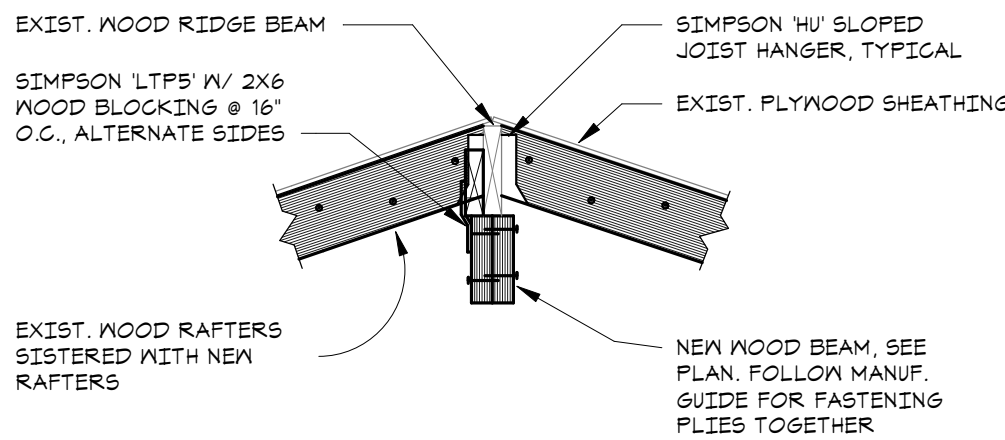
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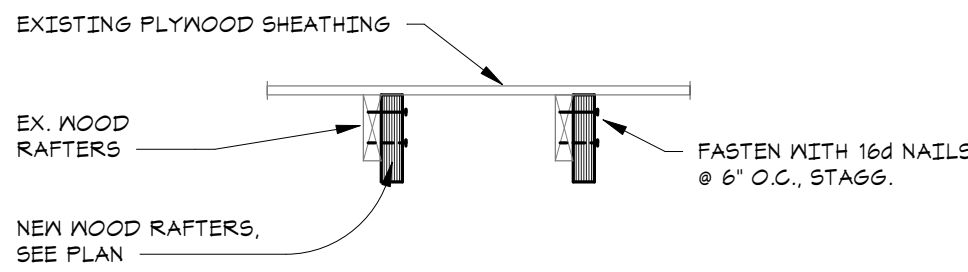
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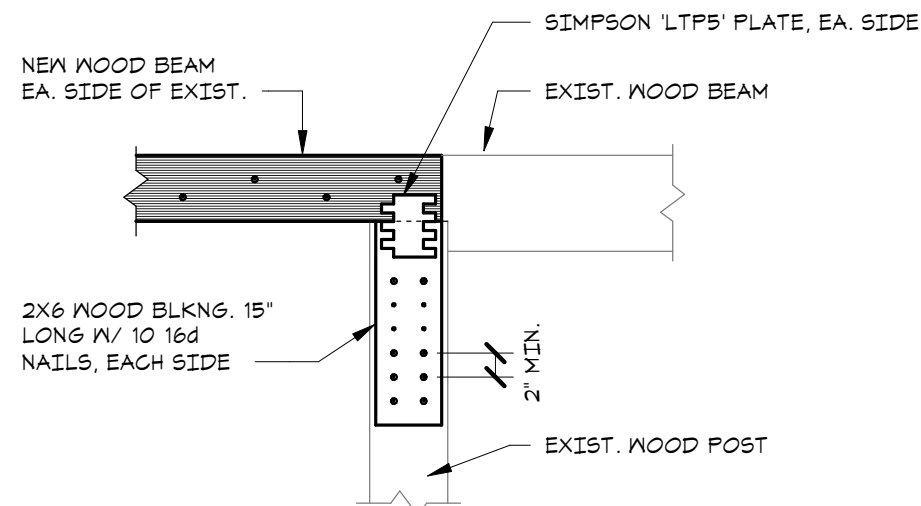
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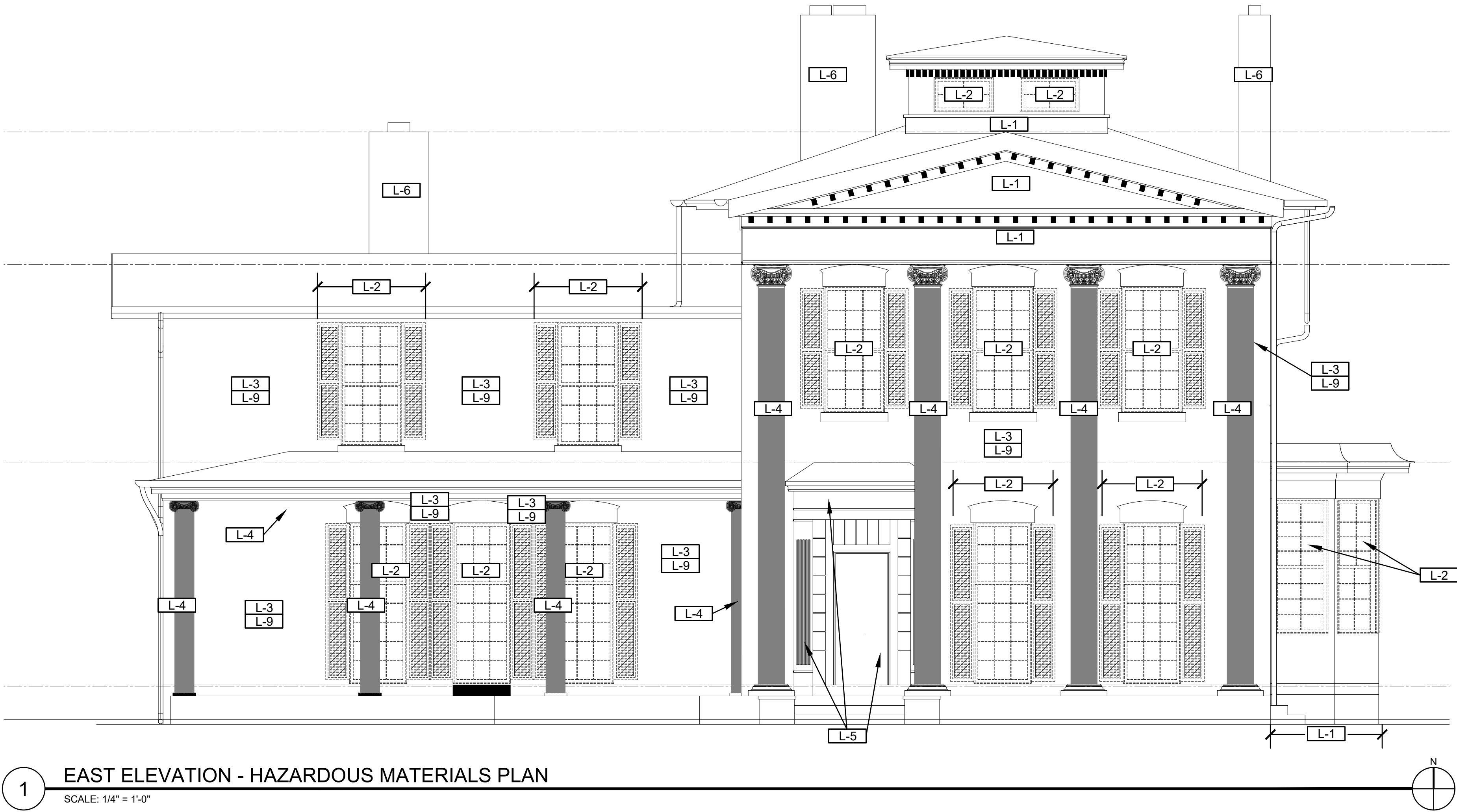
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SECTION 6  
SCALE: 3/4" = 1'-0" S3-02



SECTION 5  
SCALE: 3/4" = 1'-0" S3-02



1 EAST ELEVATION - HAZARDOUS MATERIALS PLAN

SCALE: 1/4" = 1'-0"

LEAD-BASED PAINT ABATEMENT NOTES

ALL LOOSE PAINT SHALL BE REMOVED IN IDENTIFIED AREAS DOWN TO AN INTACT SURFACE IN PREPARATION FOR REPAINTING. REFER TO ARCHITECTURAL DRAWINGS AND SPECIFICATIONS FOR SURFACE PREPARATION REQUIREMENTS. COORDINATE ALL WORK WITH PAINTING/GENERAL CONTRACTOR. ALL REMOVED PAINT, PAINTED COMPONENTS SCHEDULED FOR DISPOSAL AND ASSOCIATED DEBRIS SHALL BE DISPOSED OF IN ACCORDANCE WITH GENERAL NOTE K.

L-1 REMOVE EXISTING LEAD-BASED PAINT AT WOOD SIDING, SOFFIT AND TRIM. REFER TO ARCHITECTURAL DEMOLITION DRAWINGS, AND SPECIFIC DEMOLITION NOTE 2 FOR REMOVAL PROCEDURE REQUIREMENTS. REMOVE DAMAGED SIDING AND TRIM SCHEDULED FOR DEMOLITION. REFER TO ARCHITECTURAL NEW WORK ELEVATIONS FOR LOCATIONS. COORDINATE WORK WITH CARPENTER TASKED WITH WOOD COMPONENT REPLACEMENT.

L-2 REMOVE EXISTING LOOSE LEAD-BASED PAINT AT WINDOW FRAMES. REMOVE AND PROPERLY DISPOSE OF SCREENS AND WINDOW SASHES COATED WITH LEAD-BASED PAINT. DETACH SHUTTERS AND PROPERLY DISPOSE. REMOVE EXISTING LOOSE LEAD-BASED PAINT FROM WALL SURFACE BENEATH DOWN TO AN INTACT SURFACE.

L-3 REMOVE EXISTING LOOSE LEAD-BASED PAINT AT BRICK. ALL REMOVED PAINT AND ASSOCIATED DEBRIS SHALL BE DISPOSED OF IN ACCORDANCE WITH GENERAL NOTE K.

L-4 REMOVE EXISTING LOOSE LEAD-BASED PAINT AT PORCH CEILING, ASSOCIATED WOOD TRIM AND PORCH COLUMNS/CAPITALS.

L-5 REMOVE EXISTING LEAD-BASED PAINT FROM DOOR SLAB, DOOR FRAME AND ASSOCIATED TRIM. REFER TO ARCHITECTURAL DEMOLITION DRAWINGS SPECIFIC DEMOLITION NOTE 2 FOR REMOVAL PROCEDURE REQUIREMENTS.

L-6 REMOVE ALL LEAD-BASED PAINT DOWN TO AND FROM BRICK SUBSTRATE ON ALL CHIMNEYS. PROTECT BRICK DURING REMOVAL ACTIVITIES.

L-7 NOT USED.

L-8 NOT USED

ALTERNATE 1

L-9 REMOVE ALL LEAD BASED PAINT FROM BRICK SUBSTRATE.



2 PHOTO 1  
VIEW OF PORCH CEILING.

GENERAL NOTES

- PERFORM ALL WORK IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL RULES, REGULATIONS, AND GUIDELINES, VARIANCES AND CONTRACT DOCUMENTS.
- ALL MATERIAL MEASUREMENTS AND/OR QUANTITIES AND LOCATIONS ARE APPROXIMATE AND FOR GENERAL ORIENTATION ONLY. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION AT THE SITE PRIOR TO BIDDING.
- THE LOCATION OF ANY STORAGE OF MATERIAL, EQUIPMENT, AND WASTE TRAILER/DUMPSTER SHALL BE COORDINATED WITH AND APPROVED BY THE OWNER OR THE OWNER'S REPRESENTATIVE.
- SECURE ALL TOOLS, EQUIPMENT, AND SUPPLIES. THE OWNER OR THE OWNER'S REPRESENTATIVE WILL NOT BE LIABLE FOR THEFT OR DAMAGE.
- LEAD-BASED PAINT IDENTIFIED IN THE REPORT IS TO BE ABATED PRIOR TO ANY CONSTRUCTION THAT COULD DISTURB THESE MATERIALS.
- KEEP THE WORK AREA IN A CLEAN AND SAFE CONDITION. CONTRACTOR SHALL ENSURE THAT UNCERTIFIED PERSONNEL OR UNAUTHORIZED VISITORS DO NOT ENTER ACTIVE WORK AREAS AT ANY TIME.
- PROVIDE TEMPORARY PROTECTION TO KEEP THE WORK AREAS AND BUILDING IN A SECURE AND WATERTIGHT CONDITION AT ALL TIMES DURING THE PERFORMANCE OF THE CONTRACT WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE CAUSED TO ANY AREAS OF THE BUILDING AS A RESULT OF IMPROPER TEMPORARY PROTECTION.
- PROTECT ALL FINISHES SCHEDULED TO REMAIN. CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE TO FINISHES.
- PROVIDE ALL SCAFFOLDING, LIFTS, ETC. REQUIRED TO PERFORM ITS WORK.
- AN INSPECTION FOR ACM, LBP, AND PCB CAULKS HAS BEEN COMPLETED. A COPY OF THE REPORT IS INCLUDED IN THE CONTRACT DOCUMENTS. ASBESTOS CONTAINING MATERIALS IDENTIFIED IN THE REPORT ARE TO BE ABATED PRIOR TO ANY CONSTRUCTION THAT COULD DISTURB THESE MATERIALS. PRESERVE AND PROTECT BUILDING MATERIALS AND FINISHES, FACILITY EQUIPMENT, AND FURNISHINGS PRESENT WITHIN EACH WORK AREA THAT ARE NOT REMOVED, ABATED, OR SCHEDULED FOR DEMOLITION. PERFORM WORK WITHOUT DAMAGE TO OR CONTAMINATION OF ADJACENT OR NEARBY AREAS. WHERE SUCH AREAS ARE DAMAGED, PROVIDE FOR RESTORATION TO THE SATISFACTION OF THE OWNER. WHERE SUCH AREAS ARE CONTAMINATED, PROVIDE FOR REQUISITE CONTAINMENT AND CLEANUP.
- ALL REMOVED PAINT, CHIPS, UNDERLYING SUBSTRATES AND ASSOCIATED DEBRIS SHALL BE PROPERLY DISPOSED OF IN ACCORDANCE WITH SECTION 028333: REMOVAL OF LEAD-CONTAINING MATERIAL. LOOSE PAINT FLAKES SHALL BE SEGREGATED, COLLECTED FOR TESTING AND DISPOSAL PER THE SPECIFICATION. FOR BIDDING, PAINT CHIPS, AND ASSOCIATED DEBRIS ARE ASSUMED TO BE DISPOSED AS RCRA HAZARDOUS WASTE AT AN APPROPRIATE LANDFILL IMMEDIATELY FOLLOWING PROJECT COMPLETION WITH PROPER WASTE MANIFESTS.
- ANTICIPATE 75% OF PAINT WILL REQUIRE REMOVAL FROM IDENTIFIED COMPONENTS FOR BIDDING PURPOSES.

LEAD AWARENESS NOTES

- CONDUCT ALL WORK IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL REQUIREMENTS, INCLUDING OSHA 29 CFR 1926.62: LEAD EXPOSURE IN CONSTRUCTION: INTERIM FINAL RULE AND 40 CFR SUBPART E (EPA RRP RULE) FOR ALL ACTIVITIES DURING WHICH AN EMPLOYEE MAY BE OCCUPATIONALLY EXPOSED TO LEAD. ALL CONTRACTORS SHALL ENSURE THAT THEIR EMPLOYEES WEAR PROPER PERSONAL PROTECTIVE EQUIPMENT AND/OR UTILIZE APPROPRIATE WORK METHODS TO PREVENT ELEVATED BLOOD LEAD LEVELS OR EXPOSURE ABOVE THE PERMISSIBLE EXPOSURE LIMIT. DISPOSAL OF GENERATED PAINT CHIPS SHALL BE IN COMPLIANCE WITH ALL APPLICABLE FEDERAL AND STATE REGULATIONS REGARDING LEAD.
- FURNISHING THIS INFORMATION IS NOT INTENDED TO RELIEVE THE CONTRACTOR OF ITS RESPONSIBILITIES UNDER OSHA TO DETERMINE IF THEIR EMPLOYEES AND SUBCONTRACTORS MAY BE EXPOSED TO LEAD AND TO WARN THEIR EMPLOYEES OF THE POTENTIAL DANGERS OF THE DISTURBANCE OF LEAD-CONTAINING MATERIALS.
- BASED ON THE TESTING, THE FOLLOWING COMPONENTS HAVE BEEN IDENTIFIED TO BE COATED/CONTAIN LEAD-BASED PAINT:

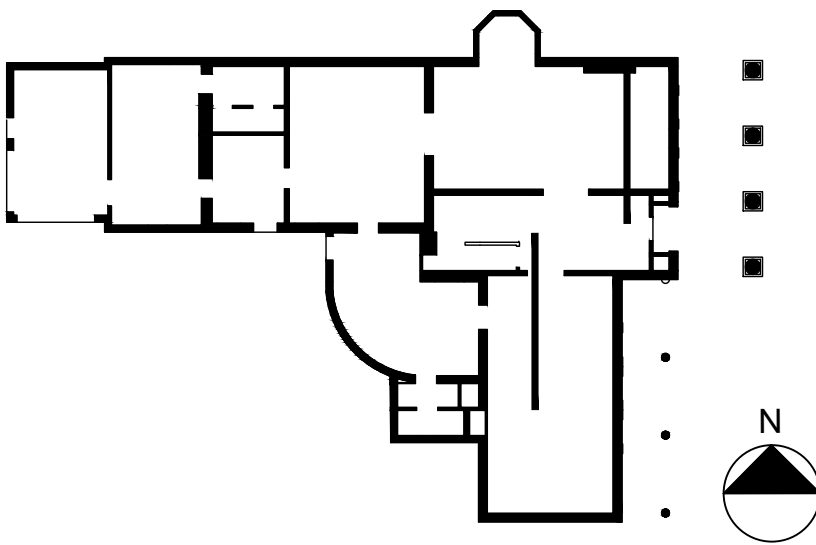
LANFORD HOUSE

- EXTERIOR WALLS
- PLUMBING VENT BOOT
- CHIMNEY
- PORCH OVERHANG
- COLUMNS
- WINDOWS
- WINDOW FRAMES
- WINDOW CASINGS
- SHUTTERS
- SOFFIT

DETACHED GARAGE

- SIDING
- WINDOWS
- WINDOW FRAMES
- WINDOW CASINGS
- OVERHEAD DOORS
- OVERHEAD DOOR FRAMES
- SHUTTERS
- SOFFIT

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PROJECT NO. 051037  
LANFORD REHAB  
PHASE II EXTERIOR  
194 CENTRAL AVENUE  
FREDONIA, NEW YORK 14063

BID DOCUMENTS

Revision Schedule		
Revision Number	Date	Description

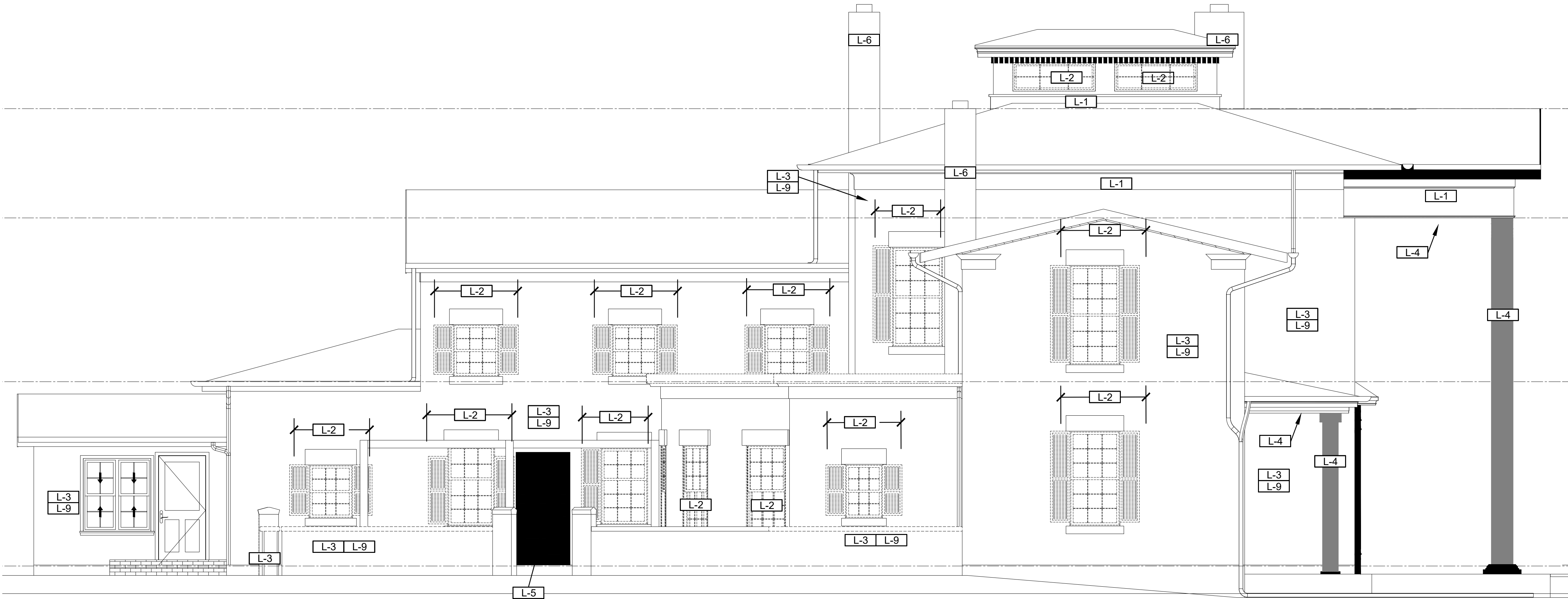
DRAWING ISSUED: 10/1/2024

Project Number: FBA PROJECT #00388.00	Scale: As indicated
Drawn By: NAK	Checked By: MB

Drawing Title  
HAZARDOUS MATERIALS  
EAST ELEVATION  
REMOVAL PLAN

Drawing Number

HM-01



1 SOUTH ELEVATION - HAZARDOUS MATERIALS PLAN  
SCALE: 1/4" = 1'-0"

LEAD-BASED PAINT ABATEMENT NOTES

ALL LOOSE PAINT SHALL BE REMOVED IN IDENTIFIED AREAS DOWN TO AN INTACT SURFACE IN PREPARATION FOR REPAINTING. REFER TO ARCHITECTURAL DRAWINGS AND SPECIFICATIONS FOR SURFACE PREPARATION REQUIREMENTS. COORDINATE ALL WORK WITH PAINTING/GENERAL CONTRACTOR. ALL REMOVED PAINT, PAINTED COMPONENTS SCHEDULED FOR DISPOSAL AND ASSOCIATED DEBRIS SHALL BE DISPOSED OF IN ACCORDANCE WITH GENERAL NOTE K.

- L-1** REMOVE EXISTING LEAD-BASED PAINT AT WOOD SIDING, SOFFIT AND TRIM. REFER TO ARCHITECTURAL DEMOLITION DRAWINGS, AND SPECIFIC DEMOLITION NOTE 2 FOR REMOVAL PROCEDURE REQUIREMENTS. REMOVE DAMAGED SIDING AND TRIM SCHEDULED FOR DEMOLITION. REFER TO ARCHITECTURAL NEW WORK ELEVATIONS FOR LOCATIONS. COORDINATE WORK WITH CARPENTER TASKED WITH WOOD COMPONENT REPLACEMENT.
- L-2** REMOVE EXISTING LOOSE LEAD-BASED PAINT AT WINDOW FRAMES. REMOVE AND PROPERLY DISPOSE OF SCREENS AND WINDOW SASHES COATED WITH LEAD-BASED PAINT. DETACH SHUTTERS AND PROPERLY DISPOSE. REMOVE EXISTING LOOSE LEAD-BASED PAINT FROM WALL SURFACE BENEATH DOWN TO AN INTACT SURFACE.
- L-3** REMOVE EXISTING LOOSE LEAD-BASED PAINT AT BRICK. ALL REMOVED PAINT AND ASSOCIATED DEBRIS SHALL BE DISPOSED OF IN ACCORDANCE WITH GENERAL NOTE K.
- L-4** REMOVE EXISTING LOOSE LEAD-BASED PAINT AT PORCH CEILING, ASSOCIATED WOOD TRIM AND PORCH COLUMNS/CAPITALS.
- L-5** REMOVE EXISTING LEAD-BASED PAINT FROM DOOR SLAB, DOOR FRAME AND ASSOCIATED TRIM. REFER TO ARCHITECTURAL DEMOLITION DRAWINGS SPECIFIC DEMOLITION NOTE 2 FOR REMOVAL PROCEDURE REQUIREMENTS.
- L-6** REMOVE ALL LEAD-BASED PAINT DOWN TO AND FROM BRICK SUBSTRATE ON ALL CHIMNEYS. PROTECT BRICK DURING REMOVAL ACTIVITIES.
- L-7** NOT USED.
- L-8** NOT USED
- ALTERNATE 1**
- L-9** REMOVE ALL LEAD BASED PAINT FROM BRICK SUBSTRATE.

GENERAL NOTES

- A. PERFORM ALL WORK IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL RULES, REGULATIONS, AND GUIDELINES, VARIANCES AND CONTRACT DOCUMENTS.
- B. ALL MATERIAL MEASUREMENTS AND/OR QUANTITIES AND LOCATIONS ARE APPROXIMATE AND FOR GENERAL ORIENTATION ONLY. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION AT THE SITE PRIOR TO BIDDING.
- C. THE LOCATION OF ANY STORAGE OF MATERIAL, EQUIPMENT, AND WASTE TRAILER/DUMPSTER SHALL BE COORDINATED WITH AND APPROVED BY THE OWNER OR THE OWNER'S REPRESENTATIVE.
- D. SECURE ALL TOOLS, EQUIPMENT, AND SUPPLIES. THE OWNER OR THE OWNER'S REPRESENTATIVE WILL NOT BE LIABLE FOR THEFT OR DAMAGE.
- E. LEAD-BASED PAINT IDENTIFIED IN THE REPORT IS TO BE ABATED PRIOR TO ANY CONSTRUCTION THAT COULD DISTURB THESE MATERIALS.
- F. KEEP THE WORK AREA IN A CLEAN AND SAFE CONDITION. CONTRACTOR SHALL ENSURE THAT UNCERTIFIED PERSONNEL OR UNAUTHORIZED VISITORS DO NOT ENTER ACTIVE WORK AREAS AT ANY TIME.
- G. PROVIDE TEMPORARY PROTECTION TO KEEP THE WORK AREAS AND BUILDING IN A SECURE AND WATERTIGHT CONDITION AT ALL TIMES DURING THE PERFORMANCE OF THE CONTRACT WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE CAUSED TO ANY AREAS OF THE BUILDING AS A RESULT OF IMPROPER TEMPORARY PROTECTION.
- H. PROTECT ALL FINISHES SCHEDULED TO REMAIN. CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE TO FINISHES.
- I. PROVIDE ALL SCAFFOLDING, LIFTS, ETC. REQUIRED TO PERFORM ITS WORK.
- J. AN INSPECTION FOR ACM, LBP, AND PCB CAULKS HAS BEEN COMPLETED. A COPY OF THE REPORT IS INCLUDED IN THE CONTRACT DOCUMENTS. ASBESTOS CONTAINING MATERIALS IDENTIFIED IN THE REPORT ARE TO BE ABATED PRIOR TO ANY CONSTRUCTION THAT COULD DISTURB THESE MATERIALS. PRESERVE AND PROTECT BUILDING MATERIALS AND FINISHES, FACILITY EQUIPMENT, AND FURNISHINGS PRESENT WITHIN EACH WORK AREA THAT ARE NOT REMOVED, ABATED, OR SCHEDULED FOR DEMOLITION. PERFORM WORK WITHOUT DAMAGE TO OR CONTAMINATION OF ADJACENT OR NEARBY AREAS. WHERE SUCH AREAS ARE DAMAGED, PROVIDE FOR RESTORATION TO THE SATISFACTION OF THE OWNER. WHERE SUCH AREAS ARE CONTAMINATED, PROVIDE FOR REQUISITE CONTAINMENT AND CLEANUP.
- K. ALL REMOVED PAINT, CHIPS, UNDERLYING SUBSTRATES AND ASSOCIATED DEBRIS SHALL BE PROPERLY DISPOSED OF IN ACCORDANCE WITH SECTION 028333. REMOVAL OF LEAD-CONTAINING MATERIAL. LOOSE PAINT FLAKES SHALL BE SEGREGATED, COLLECTED FOR TESTING AND DISPOSAL PER THE SPECIFICATION. FOR BIDDING, PAINT CHIPS, AND ASSOCIATED DEBRIS ARE ASSUMED TO BE DISPOSED AS RCRA HAZARDOUS WASTE AT AN APPROPRIATE LANDFILL IMMEDIATELY FOLLOWING PROJECT COMPLETION WITH PROPER WASTE MANIFESTS.
- L. ANTICIPATE 75% OF PAINT WILL REQUIRE REMOVAL FROM IDENTIFIED COMPONENTS FOR BIDDING PURPOSES.

LEAD AWARENESS NOTES

- CONDUCT ALL WORK IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL REQUIREMENTS, INCLUDING OSHA 29 CFR 1926.62: LEAD EXPOSURE IN CONSTRUCTION; INTERIM FINAL RULE AND 40 CFR SUBPART E (EPA RRP RULE) FOR ALL ACTIVITIES DURING WHICH AN EMPLOYEE MAY BE OCCUPATIONALLY EXPOSED TO LEAD. ALL CONTRACTORS SHALL ENSURE THAT THEIR EMPLOYEES WEAR PROPER PERSONAL PROTECTIVE EQUIPMENT AND/OR UTILIZE APPROPRIATE WORK METHODS TO PREVENT ELEVATED BLOOD LEAD LEVELS OR EXPOSURE ABOVE THE PERMISSIBLE EXPOSURE LIMIT. DISPOSAL OF GENERATED PAINT CHIPS SHALL BE IN COMPLIANCE WITH ALL APPLICABLE FEDERAL AND STATE REGULATIONS REGARDING LEAD.
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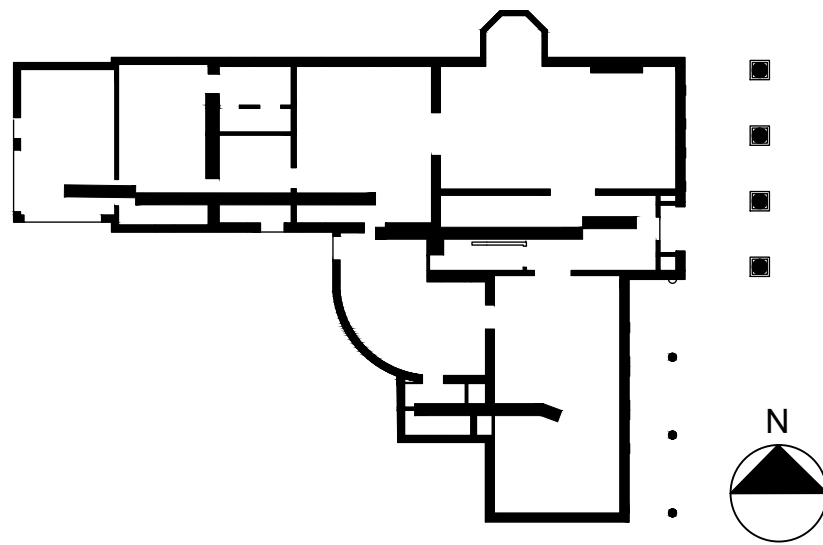
LANFORD HOUSE

- EXTERIOR WALLS
- PLUMBING VENT BOOT
- CHIMNEY
- PORCH OVERHANG
- COLUMNS
- WINDOWS
- WINDOW FRAMES
- WINDOW CASINGS
- SHUTTERS
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PROJECT NO. 051037  
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PHASE II EXTERIOR

194 CENTRAL AVENUE  
FREDONIA, NEW YORK 14063

BID DOCUMENTS

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Revision Number	Date	Description

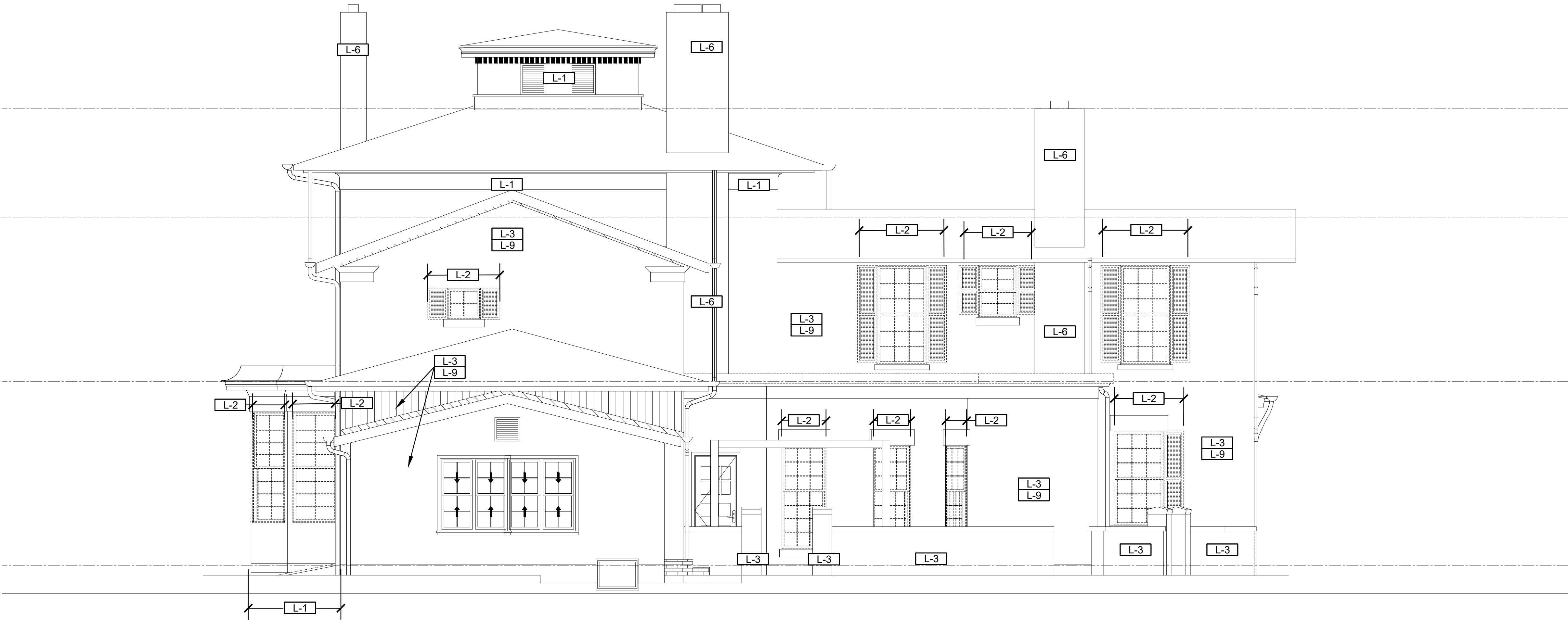
DRAWING ISSUED: 10/1/2024

Project Number: FBA PROJECT #00388.00	Scale: As indicated
Drawn By: NAK	Checked By: MB

Drawing Title  
HAZARDOUS MATERIALS  
SOUTH ELEVATION  
REMOVAL PLAN

Drawing Number

HM-02



1 WEST ELEVATION - HAZARDOUS MATERIALS PLAN  
SCALE: 1/4" = 1'-0"

LEAD-BASED PAINT ABATEMENT NOTES

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- L-4** NOT USED.
- L-5** NOT USED.
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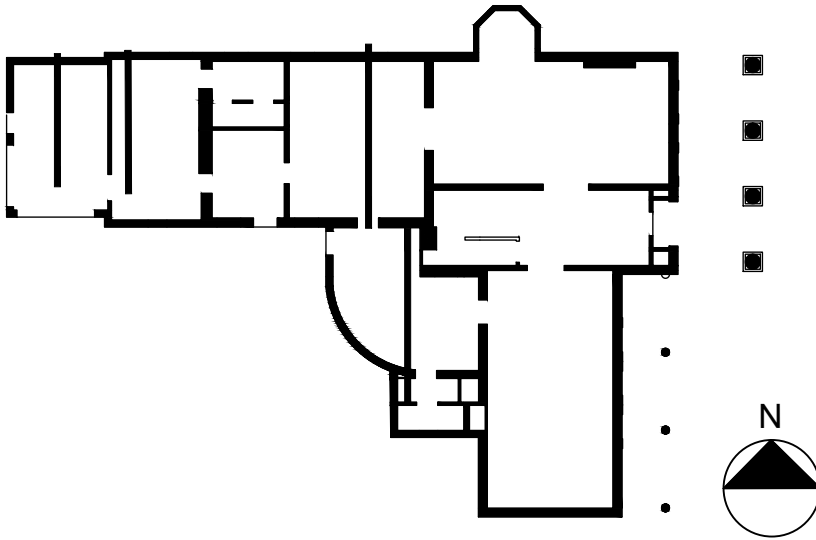
LANFORD HOUSE

- EXTERIOR WALLS
- PLUMBING VENT BOOT
- CHIMNEY
- PORCH OVERHANG
- COLUMNS
- WINDOWS
- WINDOW FRAMES
- WINDOW CASINGS
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DETACHED GARAGE

- SIDING
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PROJECT NO. 051037

LANFORD REHAB

PHASE II EXTERIOR

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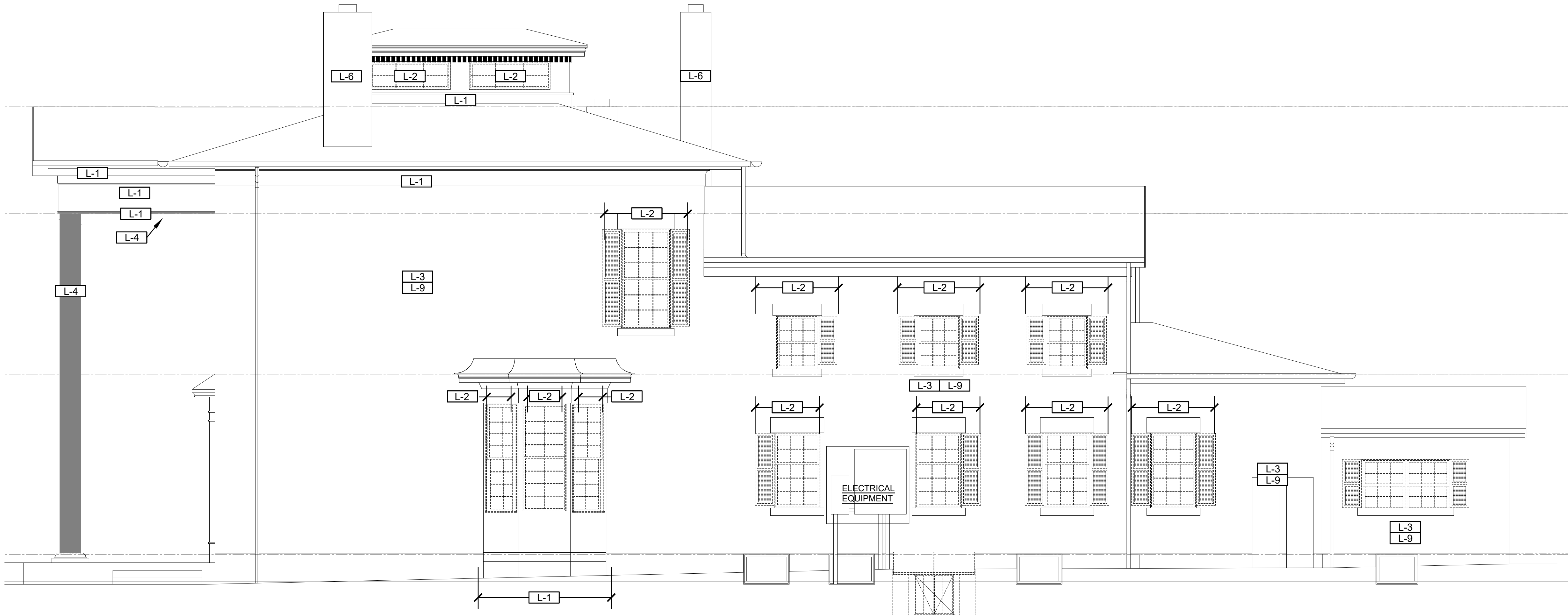
DRAWING ISSUED: 10/1/2024

Project Number: FBA PROJECT #00388.00	Scale: As indicated
Drawn By: NAK	Checked By: MB

Drawing Title  
HAZARDOUS MATERIALS  
WEST ELEVATION  
REMOVAL PLAN

Drawing Number

HM-03



1 NORTH ELEVATION - HAZARDOUS MATERIALS PLAN  
SCALE: 1/4" = 1'-0"

#### LEAD-BASED PAINT ABATEMENT NOTES

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**L-5** NOT USED.

**L-6** REMOVE ALL LEAD-BASED PAINT DOWN TO AND FROM BRICK SUBSTRATE ON ALL CHIMNEYS. PROTECT BRICK DURING REMOVAL ACTIVITIES.

**L-7** NOT USED.

**L-8** NOT USED.

#### ALTERNATE 1

**L-9** REMOVE ALL LEAD BASED PAINT FROM BRICK SUBSTRATE.

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- ALL REMOVED PAINT, CHIPS, UNDERLYING SUBSTRATES AND ASSOCIATED DEBRIS SHALL BE PROPERLY DISPOSED OF IN ACCORDANCE WITH SECTION 028333. REMOVAL OF LEAD-CONTAINING MATERIAL. LOOSE PAINT FLAKES SHALL BE SEGREGATED, COLLECTED FOR TESTING AND DISPOSAL PER THE SPECIFICATION. FOR BIDDING, PAINT CHIPS, AND ASSOCIATED DEBRIS ARE ASSUMED TO BE DISPOSED AS RCRA HAZARDOUS WASTE AT AN APPROPRIATE LANDFILL IMMEDIATELY FOLLOWING PROJECT COMPLETION WITH PROPER WASTE MANIFESTS.
- ANTICIPATE 75% OF PAINT WILL REQUIRE REMOVAL FROM IDENTIFIED COMPONENTS FOR BIDDING PURPOSES.

#### LEAD AWARENESS NOTES

- CONDUCT ALL WORK IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL REQUIREMENTS, INCLUDING OSHA 29 CFR 1926.62. LEAD EXPOSURE IN CONSTRUCTION: INTERIM FINAL RULE AND 40 CFR SUBPART E (EPA RRP RULE) FOR ALL ACTIVITIES DURING WHICH AN EMPLOYEE MAY BE OCCUPATIONALLY EXPOSED TO LEAD. ALL CONTRACTORS SHALL ENSURE THAT THEIR EMPLOYEES WEAR PROPER PERSONAL PROTECTIVE EQUIPMENT AND/OR UTILIZE APPROPRIATE WORK METHODS TO PREVENT ELEVATED BLOOD LEAD LEVELS OR EXPOSURE ABOVE THE PERMISSIBLE EXPOSURE LIMIT. DISPOSAL OF GENERATED PAINT CHIPS SHALL BE IN COMPLIANCE WITH ALL APPLICABLE FEDERAL AND STATE REGULATIONS REGARDING LEAD.
- FURNISHING THIS INFORMATION IS NOT INTENDED TO RELIEVE THE CONTRACTOR OF ITS RESPONSIBILITIES UNDER OSHA TO DETERMINE IF THEIR EMPLOYEES AND SUBCONTRACTORS MAY BE EXPOSED TO LEAD AND TO WARN THEIR EMPLOYEES OF THE POTENTIAL DANGERS OF THE DISTURBANCE OF LEAD-CONTAINING MATERIALS.
- BASED ON THE TESTING, THE FOLLOWING COMPONENTS HAVE BEEN IDENTIFIED TO BE COATED/CONTAIN LEAD-BASED PAINT:

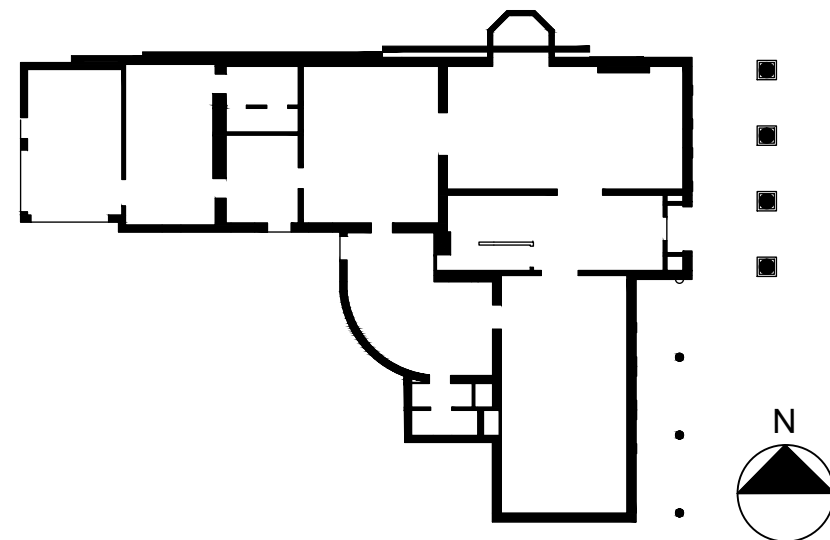
#### LANFORD HOUSE

- EXTERIOR WALLS
- PLUMBING VENT BOOT
- CHIMNEY
- PORCH OVERHANG
- COLUMNS
- WINDOWS
- WINDOW FRAMES
- WINDOW CASINGS
- SHUTTERS
- SOFFIT

#### DETACHED GARAGE

- SIDING
- WINDOWS
- WINDOW FRAMES
- WINDOW CASINGS
- OVERHEAD DOORS
- OVERHEAD DOOR FRAMES
- SHUTTERS
- SOFFIT

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DATE

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#### PROJECT NO. 051037

#### LANFORD REHAB

#### PHASE II EXTERIOR

194 CENTRAL AVENUE  
FREDONIA, NEW YORK 14063

#### BID DOCUMENTS

Revision Schedule		
Revision Number	Date	Description

DRAWING ISSUED: 10/1/2024

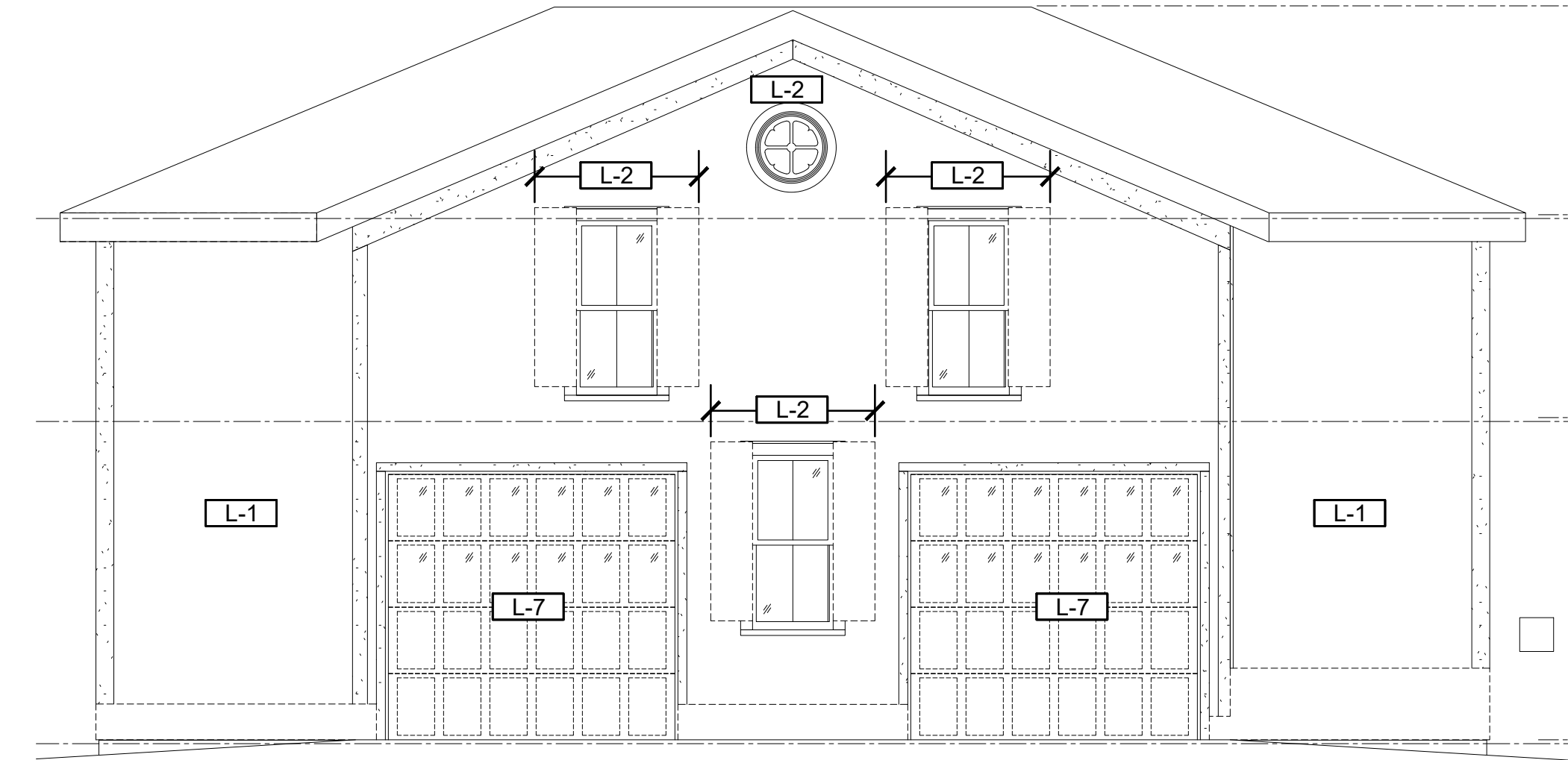
Project Number: FBA PROJECT #00388.00	Scale: As indicated
Drawn By: NAK	Checked By: MB

Drawing Title

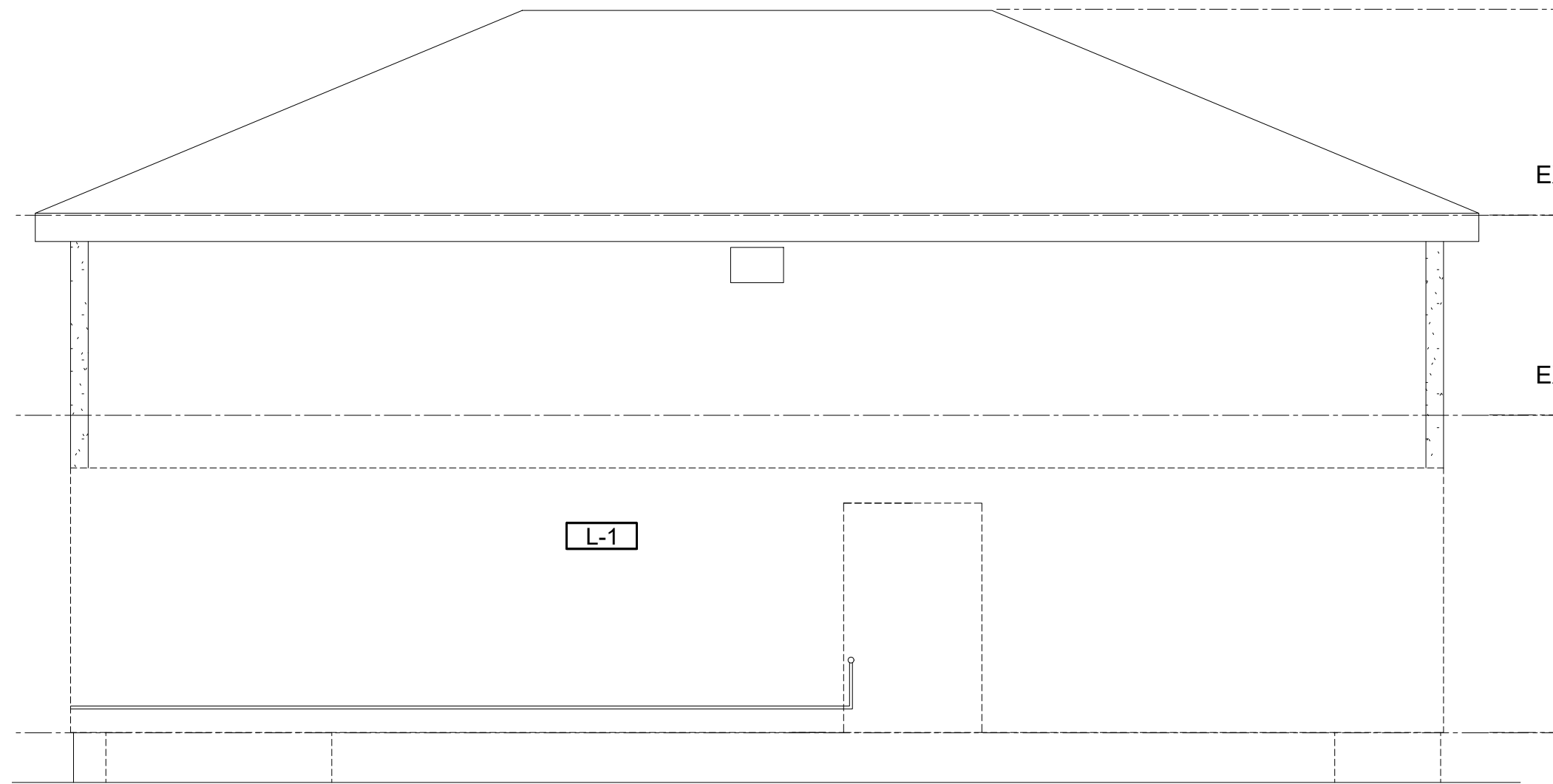
#### HAZARDOUS MATERIALS NORTH ELEVATION REMOVAL PLAN

Drawing Number

# HM-04



1 EAST ELEVATION - HAZARDOUS MATERIALS PLAN  
SCALE: 1/4" = 1'-0"



3 WEST ELEVATION - HAZARDOUS MATERIALS PLAN  
SCALE: 1/4" = 1'-0"

LEAD-BASED PAINT ABATEMENT NOTES

ALL LOOSE PAINT SHALL BE REMOVED IN IDENTIFIED AREAS DOWN TO AN INTACT SURFACE IN PREPARATION FOR REPAINTING. REFER TO ARCHITECTURAL DRAWINGS AND SPECIFICATIONS FOR SURFACE PREPARATION REQUIREMENTS. COORDINATE ALL WORK WITH PAINTING/GENERAL CONTRACTOR. ALL REMOVED PAINT, PAINTED COMPONENTS SCHEDULED FOR DISPOSAL AND ASSOCIATED DEBRIS SHALL BE DISPOSED OF IN ACCORDANCE WITH GENERAL NOTE K.

L-1 REMOVE EXISTING LEAD-BASED PAINT AT WOOD SIDING, SOFFIT AND TRIM. REFER TO ARCHITECTURAL DEMOLITION DRAWINGS, AND SPECIFIC DEMOLITION NOTE 2 FOR REMOVAL PROCEDURE REQUIREMENTS. REMOVE DAMAGED SIDING AND TRIM SCHEDULED FOR DEMOLITION. REFER TO ARCHITECTURAL NEW WORK ELEVATIONS FOR LOCATIONS. COORDINATE WORK WITH CARPENTER TASKED WITH WOOD COMPONENT REPLACEMENT.

L-2 NOT USED.

L-3 NOT USED.

L-4 NOT USED.

L-5 NOT USED.

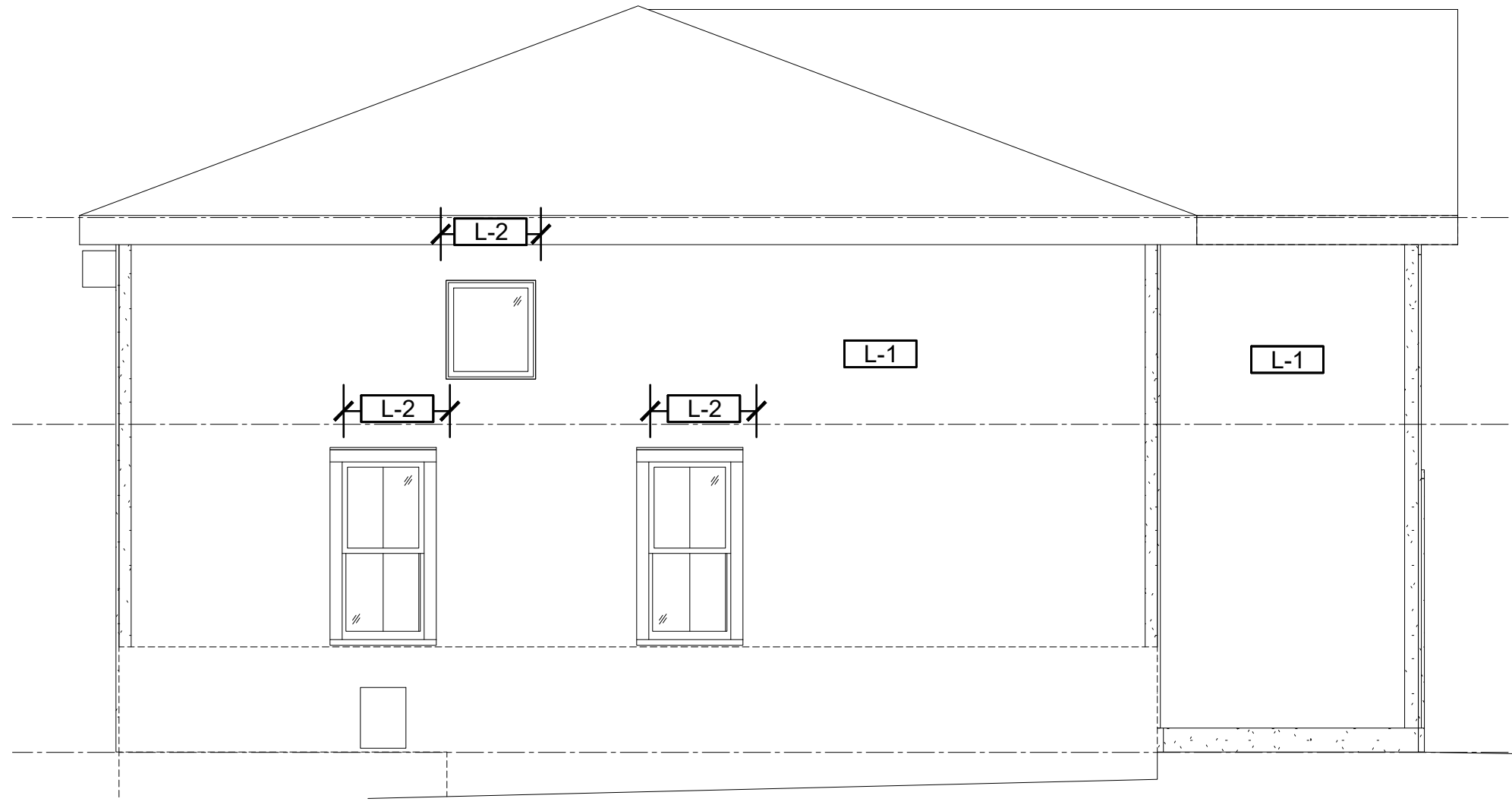
L-6 NOT USED.

L-7 REMOVE EXISTING LOOSE LEAD-BASED PAINT AT OVERHEAD DOOR AND ASSOCIATED WOOD TRIM. REMOVE ALL PAINT DOWN TO AN INTACT SURFACE. ENCAPSULATE ANY PAINT WHICH IS INTACT AND SHALL REMAIN AND PREPARE FOR A NEW SURFACE. ALL REMOVED PAINT AND ASSOCIATED DEBRIS SHALL BE DISPOSED OF IN ACCORDANCE WITH GENERAL NOTE K.

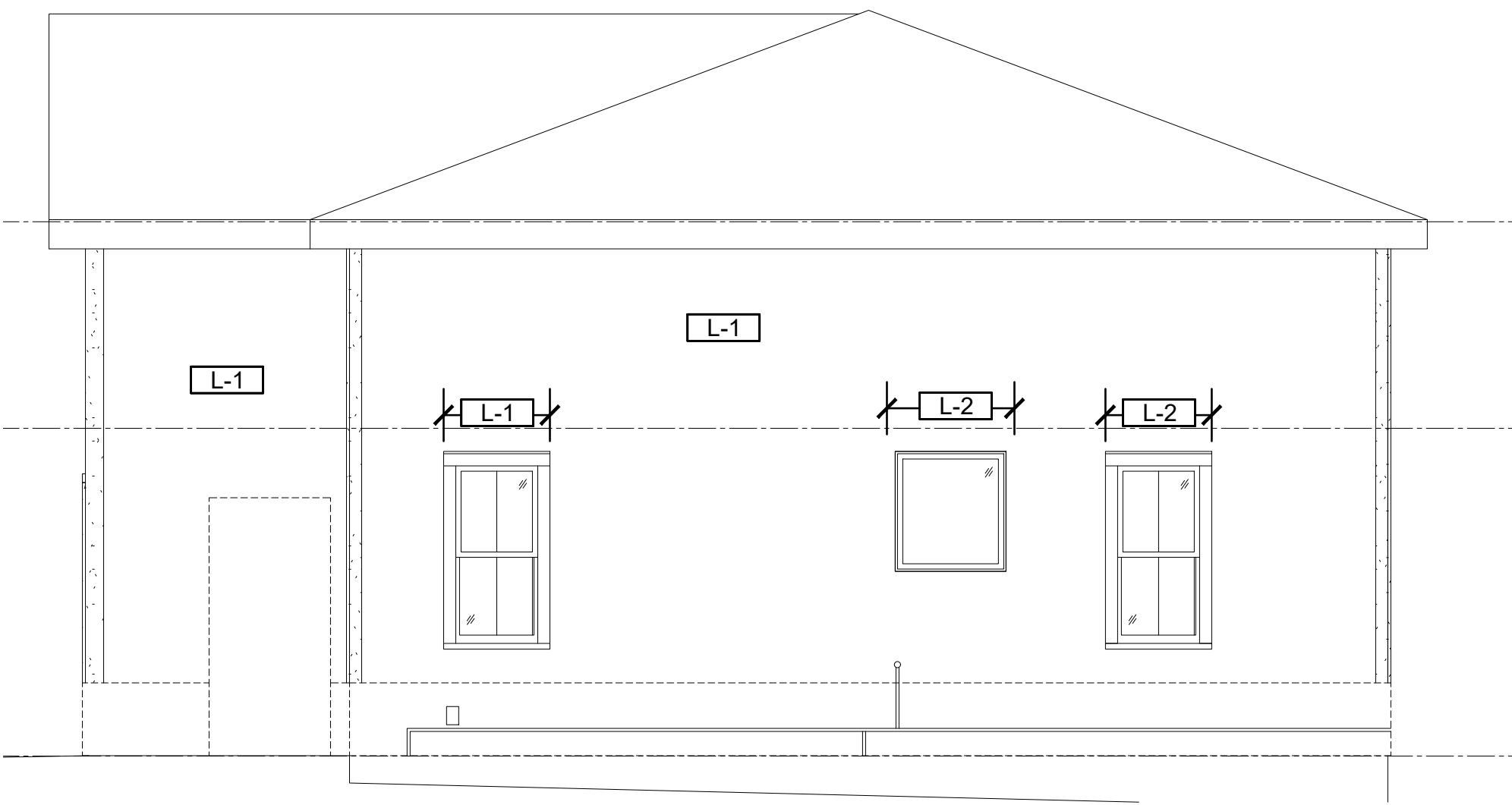
L-8 REMOVE EXISTING LOOSE LEAD-BASED PAINT AT WINDOW FRAMES DOWN TO AN INTACT SURFACE. CAREFULLY REMOVE WINDOW SASHES COATED WITH LEAD-BASED PAINT. DETACH SHUTTERS AND REMOVE EXISTING LOOSE LEAD-BASED PAINT FROM SHUTTERS AND WALL SURFACE BENEATH DOWN TO AN INTACT SURFACE. WINDOW SASHES FOR REINSTALLATION UPON REPAINTING.

ALTERNATE 1

L-9 REMOVE ALL LEAD BASED PAINT FROM BRICK SUBSTRATE.



2 SOUTH ELEVATION - HAZARDOUS MATERIALS PLAN  
SCALE: 1/4" = 1'-0"



4 NORTH ELEVATION - HAZARDOUS MATERIALS PLAN  
SCALE: 1/4" = 1'-0"

GENERAL NOTES

- PERFORM ALL WORK IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL RULES, REGULATIONS, AND GUIDELINES, VARIANCES AND CONTRACT DOCUMENTS.
- ALL MATERIAL MEASUREMENTS AND/OR QUANTITIES AND LOCATIONS ARE APPROXIMATE AND FOR GENERAL ORIENTATION ONLY. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION AT THE SITE PRIOR TO BIDDING.
- THE LOCATION OF ANY STORAGE OF MATERIAL, EQUIPMENT, AND WASTE TRAILER/DUMPSTER SHALL BE COORDINATED WITH AND APPROVED BY THE OWNER OR THE OWNER'S REPRESENTATIVE.
- SECURE ALL TOOLS, EQUIPMENT, AND SUPPLIES. THE OWNER OR THE OWNER'S REPRESENTATIVE WILL NOT BE LIABLE FOR THEFT OR DAMAGE.
- LEAD-BASED PAINT IDENTIFIED IN THE REPORT IS TO BE ABATED PRIOR TO ANY CONSTRUCTION THAT COULD DISTURB THESE MATERIALS.
- KEEP THE WORK AREA IN A CLEAN AND SAFE CONDITION. CONTRACTOR SHALL ENSURE THAT UNCERTIFIED PERSONNEL OR UNAUTHORIZED VISITORS DO NOT ENTER ACTIVE WORK AREAS AT ANY TIME.
- PROVIDE TEMPORARY PROTECTION TO KEEP THE WORK AREAS AND BUILDING IN A SECURE AND WATERTIGHT CONDITION AT ALL TIMES DURING THE PERFORMANCE OF THE CONTRACT WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE CAUSED TO ANY AREAS OF THE BUILDING AS A RESULT OF IMPROPER TEMPORARY PROTECTION.
- PROTECT ALL FINISHES SCHEDULED TO REMAIN. CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE TO FINISHES.
- PROVIDE ALL SCAFFOLDING, LIFTS, ETC. REQUIRED TO PERFORM ITS WORK.
- AN INSPECTION FOR ACM, LBP, AND PCB CAULKS HAS BEEN COMPLETED. A COPY OF THE REPORT IS INCLUDED IN THE CONTRACT DOCUMENTS. ASBESTOS CONTAINING MATERIALS IDENTIFIED IN THE REPORT ARE TO BE ABATED PRIOR TO ANY CONSTRUCTION THAT COULD DISTURB THESE MATERIALS. PRESERVE AND PROTECT BUILDING MATERIALS AND FINISHES, FACILITY EQUIPMENT, AND FURNISHINGS PRESENT WITHIN EACH WORK AREA THAT ARE NOT REMOVED, ABATED, OR SCHEDULED FOR DEMOLITION. PERFORM WORK WITHOUT DAMAGE TO OR CONTAMINATION OF ADJACENT OR NEARBY AREAS. WHERE SUCH AREAS ARE DAMAGED, PROVIDE FOR RESTORATION TO THE SATISFACTION OF THE OWNER. WHERE SUCH AREAS ARE CONTAMINATED, PROVIDE FOR REQUISITE CONTAINMENT AND CLEANUP.
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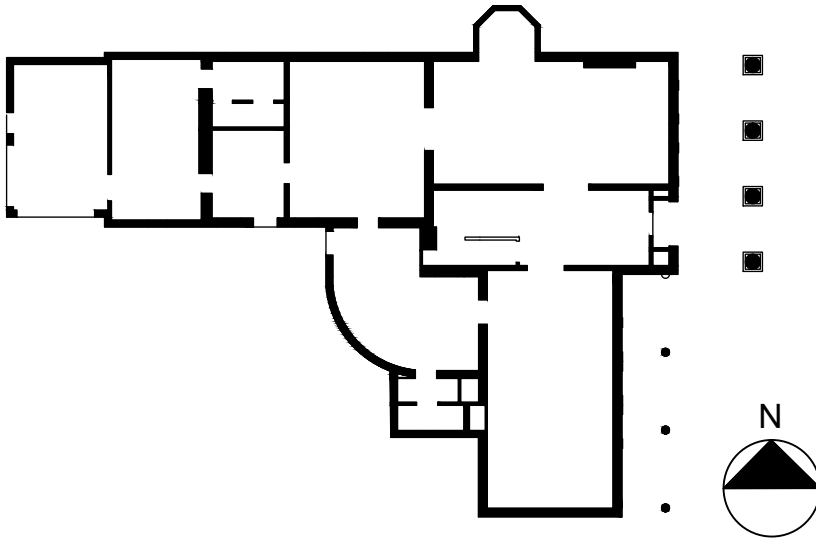
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- BASED ON THE TESTING, THE FOLLOWING COMPONENTS HAVE BEEN IDENTIFIED TO BE COATED/CONTAIN LEAD-BASED PAINT:

LANFORD HOUSE

- EXTERIOR WALLS
  - PLUMBING VENT BOOT
  - CHIMNEY
  - PORCH OVERHANG
  - COLUMNS
  - WINDOWS
  - WINDOW FRAMES
  - WINDOW CASINGS
  - SHUTTERS
  - SOFFIT
- DETACHED GARAGE
- SIDING
  - WINDOWS
  - WINDOW FRAMES
  - WINDOW CASINGS
  - OVERHEAD DOORS
  - OVERHEAD DOOR FRAMES
  - SHUTTERS
  - SOFFIT

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DATE

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PROJECT NO. 051037

LANFORD REHAB

PHASE II EXTERIOR

194 CENTRAL AVENUE  
FREDONIA, NEW YORK 14063

BID DOCUMENTS

Revision Schedule		
Revision Number	Date	Description

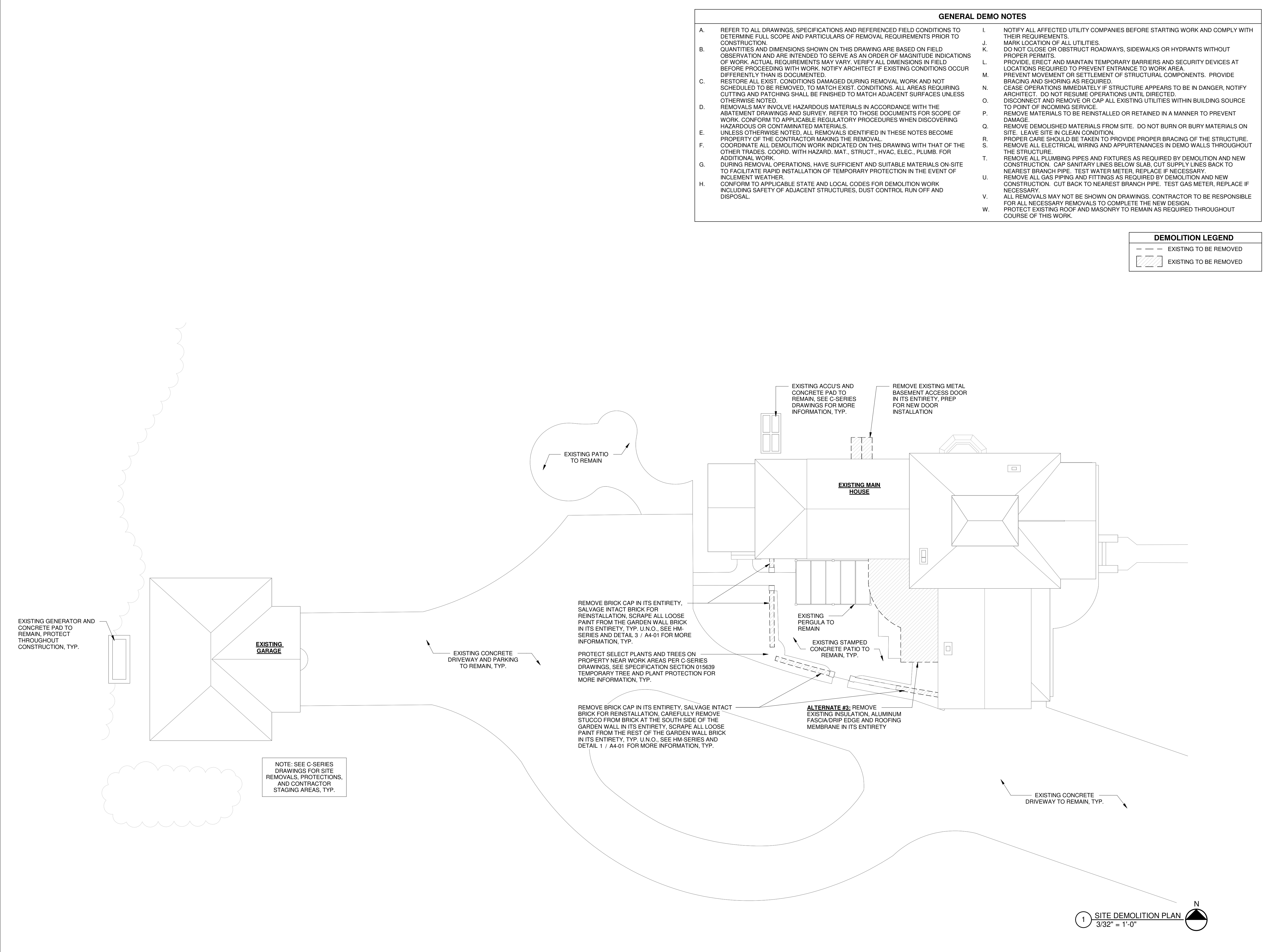
DRAWING ISSUED: 10/1/2024

Project Number: FBA PROJECT #00388.00	Scale: As indicated
Drawn By: NAK	Checked By: MB

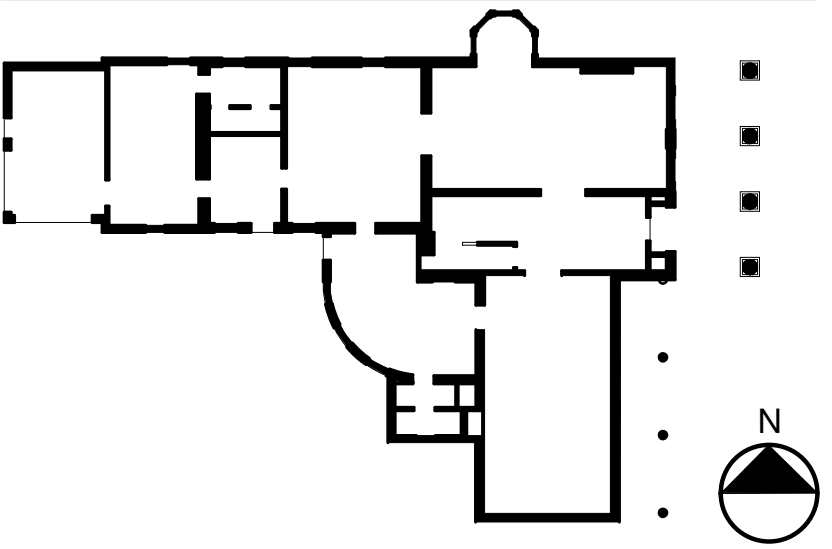
Drawing Title  
HAZARDOUS MATERIALS  
REMOVAL GARAGE  
ELEVATIONS

Drawing Number

HM-05



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DATE 10/01/2024

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PROJECT NO. 051037  
LANFORD REHAB  
PHASE II EXTERIOR  
194 CENTRAL AVENUE  
FREDONIA, NEW YORK 14063

Revision Schedule		
Revision Number	Date	Description

DRAWING ISSUED:		10/1/2024
Project Number:	Scale:	
FBA PROJECT #00388.00	As indicated	
Drawn By:	Checked By:	
MNB	MM	

Drawing Title  
PROJECT DEMO SITE PLAN

Drawing Number  
AD-00



2 GARAGE SECOND FLOOR DEMO PLAN  
1/4" = 1'-0"



A.	REFER TO ALL DRAWINGS, SPECIFICATIONS AND REFERENCED FIELD CONDITIONS TO DETERMINE FULL SCOPE AND PARTICULARS OF REMOVAL REQUIREMENTS PRIOR TO CONSTRUCTION.	I.	NOTIFY ALL AFFECTED UTILITY COMPANIES BEFORE STARTING WORK AND COMPLY WITH THEIR REQUIREMENTS.
B.	QUANTITIES AND DIMENSIONS SHOWN ON THIS DRAWING ARE BASED ON FIELD OBSERVATION AND ARE INTENDED TO SERVE AS AN ORDER OF MAGNITUDE INDICATIONS OF WORK. ACTUAL REQUIREMENTS MAY VARY. VERIFY ALL DIMENSIONS IN FIELD BEFORE PROCEEDING WITH WORK. NOTIFY ARCHITECT IF EXISTING CONDITIONS OCCUR DIFFERENTLY THAN IS DOCUMENTED.	J.	MARK LOCATION OF ALL UTILITIES.
C.	RESISTANCE TO EXISTING CONDITION DAMAGED DURING REMOVAL WORK AND NOT SCHEDULED TO BE REMOVED, TO MATCH EXIST. CONDITIONS. ALL AREAS REQUIRING CUTTING AND PATCHING SHALL BE FINISHED TO MATCH ADJACENT SURFACES UNLESS OTHERWISE NOTED.	K.	DO NOT CLOSE OR OBSTRUCT ROADWAYS, SIDEWALKS OR HYDRANTS WITHOUT PROPER PERMITS.
D.	REMOVALS MAY INVOLVE HAZARDOUS MATERIALS IN ACCORDANCE WITH THE ABATEMENT DRAWINGS AND SURVEY. REFER TO THOSE DOCUMENTS FOR SCOPE OF WORK. CONFORM TO APPLICABLE REGULATORY PROCEDURES WHEN DISCOVERING HAZARDOUS OR CONTAMINATED MATERIALS.	L.	PROVIDE, ERECT AND MAINTAIN TEMPORARY BARRIERS AND SECURITY DEVICES AT LOCATIONS REQUIRED TO PREVENT ENTRANCE TO WORK AREA.
E.	UNLESS OTHERWISE NOTED, ALL REMOVALS IDENTIFIED IN THESE NOTES BECOME PROPERTY OF THE CONTRACTOR FOR THE REMOVAL.	M.	PREVENT MOVEMENT OR SETTLEMENT OF STRUCTURAL COMPONENTS. PROVIDE BRACING AND SHORING AS REQUIRED.
F.	COORDINATE ALL DEMOLITION WORK INDICATED ON THIS DRAWING WITH THAT OF THE OTHER TRADES. COORD. WITH HAZARD, MAT., STRUCT., HVAC, ELEC., PLUMB. FOR ADDITIONAL WORK.	N.	CEASE OPERATIONS IMMEDIATELY IF STRUCTURE APPEARS TO BE IN DANGER, NOTIFY ARCHITECT. DO NOT RESUME OPERATIONS UNTIL DIRECTED.
G.	DURING REMOVAL OPERATIONS, HAVE SUFFICIENT AND SUITABLE MATERIALS ON-SITE TO MAINTAIN RAPID INSTALLATION OF TEMPORARY PROTECTION IN THE EVENT OF INCLEMENT WEATHER.	O.	DISCONNECT AND REMOVE OR CAP ALL EXISTING UTILITIES WITHIN BUILDING SOURCE TO POINT OF INCOMING SERVICE.
H.	CONFORM TO APPLICABLE STATE AND LOCAL CODES FOR DEMOLITION WORK INCLUDING SAFETY OF ADJACENT STRUCTURES, DUST CONTROL RUN OFF AND DISPOSAL.	P.	REMOVE MATERIALS TO BE REINSTALLED OR RETAINED IN A MANNER TO PREVENT DAMAGE.
		Q.	REMOVE DEMOLISHED MATERIALS FROM SITE. DO NOT BURN OR BURY MATERIALS ON SITE. LEAVE SITE IN CLEAN CONDITION.
		R.	PROPER BRACING SHOULD BE TAKEN TO PROVIDE PROPER BRACING OF THE STRUCTURE.
		S.	REMOVE ALL ELECTRICAL WIRING AND APPURTENANCES IN DEMO WALLS THROUGHOUT THE STRUCTURE.
		T.	REMOVE ALL PLUMBING PIPES AND FIXTURES AS REQUIRED BY DEMOLITION AND NEW CONSTRUCTION. CAP SANITARY LINES BELOW SLAB, CUT SUPPLY LINES BACK TO NEAREST BRANCH PIPE. TEST WATER METER, REPLACE IF NECESSARY.
		U.	REMOVE ALL GAS PIPING AND FITTINGS AS REQUIRED BY DEMOLITION AND NEW CONSTRUCTION. CUT BACK TO NEAREST BRANCH PIPE. TEST GAS METER, REPLACE IF NECESSARY.
		V.	ALL REMOVALS MAY NOT BE SHOWN ON DRAWINGS. CONTRACTOR TO BE RESPONSIBLE FOR ALL NECESSARY REMOVALS TO COMPLETE DEMOLITION.
		W.	PROTECT EXISTING ROOF AND MASONRY TO REMAIN AS REQUIRED THROUGHOUT COURSE OF THIS WORK.

 EXISTING TO BE REMOVED  
 EXISTING TO BE REMOVED  
 REMOVE ANY LOOSE PAINT  
 SEE SPEC SECTION 028333:  
 "REMOVAL OF LEAD  
 CONTAINING MATERIAL"



DATE 10/01/2024

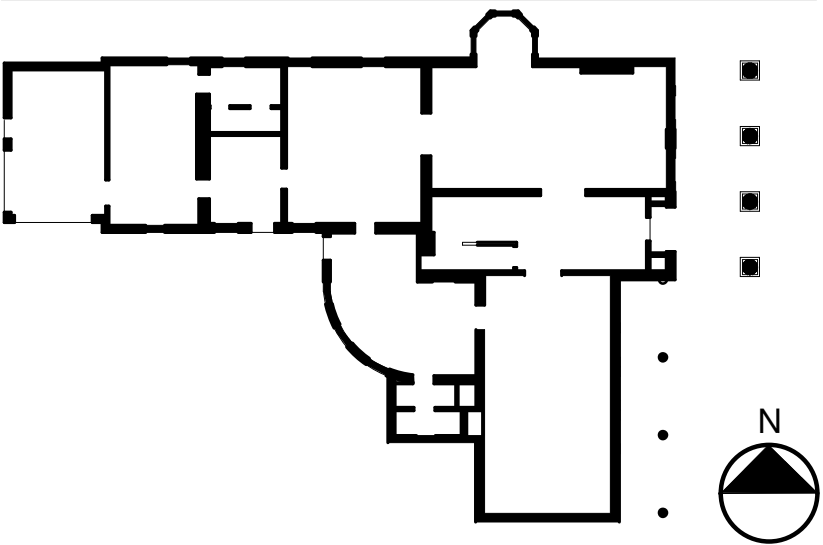
274 North Goodman Street  
Rochester, New York 14601  
Telephone (585) 271-0040

# AD-01

DEMOLITION LEGEND	
	EXISTING TO BE REMOVED
	EXISTING TO BE REMOVED
	REMOVE EXISTING PAINT AT REMAINING WOOD SIDING AND TRIM. SEE SPEC SECTIONS 028333: "REMOVAL OF LEAD CONTAINING MATERIAL", 090190 "MAINTENANCE OF PAINTING AND COATING" AND 099113 "EXTERIOR PAINTING" FOR COMPLETE PREPARATION AND PAINTING PROCEDURES, TYP. AT GARAGE WOOD SIDING AND TRIM

GENERAL DEMO NOTES	
A.	REFER TO ALL DRAWINGS, SPECIFICATIONS AND REFERENCED FIELD CONDITIONS TO DETERMINE FULL SCOPE AND PARTICULARS OF REMOVAL REQUIREMENTS PRIOR TO CONSTRUCTION.
B.	QUANTITIES AND DIMENSIONS SHOWN ON THIS DRAWING ARE BASED ON FIELD OBSERVATION AND ARE INTENDED TO SERVE AS AN ORDER OF MAGNITUDE INDICATIONS OF WORK. ACTUAL REQUIREMENTS MAY VARY. VERIFY ALL DIMENSIONS IN FIELD BEFORE PROCEEDING WITH WORK. NOTIFY ARCHITECT IF EXISTING CONDITIONS OCCUR DIFFERENTLY THAN IS DOCUMENTED.
C.	RESTORE ALL EXIST. CONDITIONS DAMAGED DURING REMOVAL WORK AND NOT SCHEDULED TO BE REMOVED, TO MATCH EXIST. CONDITIONS. ALL AREAS REQUIRING CUTTING AND PATCHING SHALL BE FINISHED TO MATCH ADJACENT SURFACES UNLESS OTHERWISE NOTED.
D.	REMOVALS MAY INVOLVE HAZARDOUS MATERIALS IN ACCORDANCE WITH THE ABATEMENT DRAWINGS AND SURVEY. REFER TO THOSE DOCUMENTS FOR SCOPE OF WORK. CONFORM TO APPLICABLE REGULATORY PROCEDURES WHEN DISCOVERING HAZARDOUS OR CONTAMINATED MATERIALS.
E.	UNLESS OTHERWISE NOTED, ALL REMOVALS IDENTIFIED IN THESE NOTES BECOME PROPERTY OF THE CONTRACTOR MAKING THE REMOVAL.
F.	COORDINATE ALL DEMOLITION WORK INDICATED ON THIS DRAWING WITH THAT OF THE OTHER TRADES. COORD. WITH HAZARD. MAT., STRUCT., HVAC, ELEC., PLUMB. FOR ADDITIONAL WORK.
G.	DURING REMOVAL OPERATIONS, HAVE SUFFICIENT AND SUITABLE MATERIALS ON-SITE TO FACILITATE RAPID INSTALLATION OF TEMPORARY PROTECTION IN THE EVENT OF INCLEMENT WEATHER.
H.	CONFORM TO APPLICABLE STATE AND LOCAL CODES FOR DEMOLITION WORK INCLUDING SAFETY OF ADJACENT STRUCTURES, DUST CONTROL RUN OFF AND DISPOSAL.
I.	NOTIFY ALL AFFECTED UTILITY COMPANIES BEFORE STARTING WORK AND COMPLY WITH THEIR REQUIREMENTS.
J.	MARK LOCATION OF ALL UTILITIES.
K.	DO NOT CLOSE OR OBSTRUCT ROADWAYS, SIDEWALKS OR HYDRANTS WITHOUT PROPER PERMITS.
L.	PROVIDE, ERECT AND MAINTAIN TEMPORARY BARRIERS AND SECURITY DEVICES AT LOCATIONS REQUIRED TO PREVENT ENTRANCE TO WORK AREA.
M.	PREVENT MOVEMENT OR SETTLEMENT OF STRUCTURAL COMPONENTS. PROVIDE BRACING AND SHORING AS REQUIRED.
N.	CEASE OPERATIONS IMMEDIATELY IF STRUCTURE APPEARS TO BE IN DANGER, NOTIFY ARCHITECT. DO NOT RESUME OPERATIONS UNTIL DIRECTED.
O.	DISCONNECT AND REMOVE OR CAP ALL EXISTING UTILITIES WITHIN BUILDING SOURCE TO POINT OF INCOMING SERVICE.
P.	REMOVE MATERIALS TO BE REINSTALLED OR RETAINED IN A MANNER TO PREVENT DAMAGE.
Q.	REMOVE DEMOLISHED MATERIALS FROM SITE. DO NOT BURN OR BURY MATERIALS ON SITE. LEAVE SITE IN CLEAN CONDITION.
R.	PROPER CARE SHOULD BE TAKEN TO PROVIDE PROPER BRACING OF THE STRUCTURE.
S.	REMOVE ALL ELECTRICAL WIRING AND APPURTENANCES IN DEMO WALLS THROUGHOUT THE STRUCTURE.
T.	REMOVE ALL PLUMBING PIPES AND FIXTURES AS REQUIRED BY DEMOLITION AND NEW CONSTRUCTION. CAP SANITARY LINES BELOW SLAB, CUT SUPPLY LINES BACK TO NEAREST BRANCH PIPE. TEST WATER METER, REPLACE IF NECESSARY.
U.	REMOVE ALL GAS PIPING AND FITTINGS AS REQUIRED BY DEMOLITION AND NEW CONSTRUCTION. CUT BACK TO NEAREST BRANCH PIPE. TEST GAS METER, REPLACE IF NECESSARY.
V.	ALL REMOVALS MAY NOT BE SHOWN ON DRAWINGS. CONTRACTOR TO BE RESPONSIBLE FOR ALL NECESSARY REMOVALS TO COMPLETE THE NEW DESIGN.
W.	PROTECT EXISTING ROOF AND MASONRY TO REMAIN AS REQUIRED THROUGHOUT COURSE OF THIS WORK.

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DATE 10/01/2024

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PROJECT NO. 051037

LANFORD REHAB

PHASE II EXTERIOR

194 CENTRAL AVENUE  
FREDONIA, NEW YORK 14063

100% CONSTRUCTION DOCUMENT SET

Revision Schedule		
Revision Number	Date	Description

DRAWING ISSUED: 10/1/2024

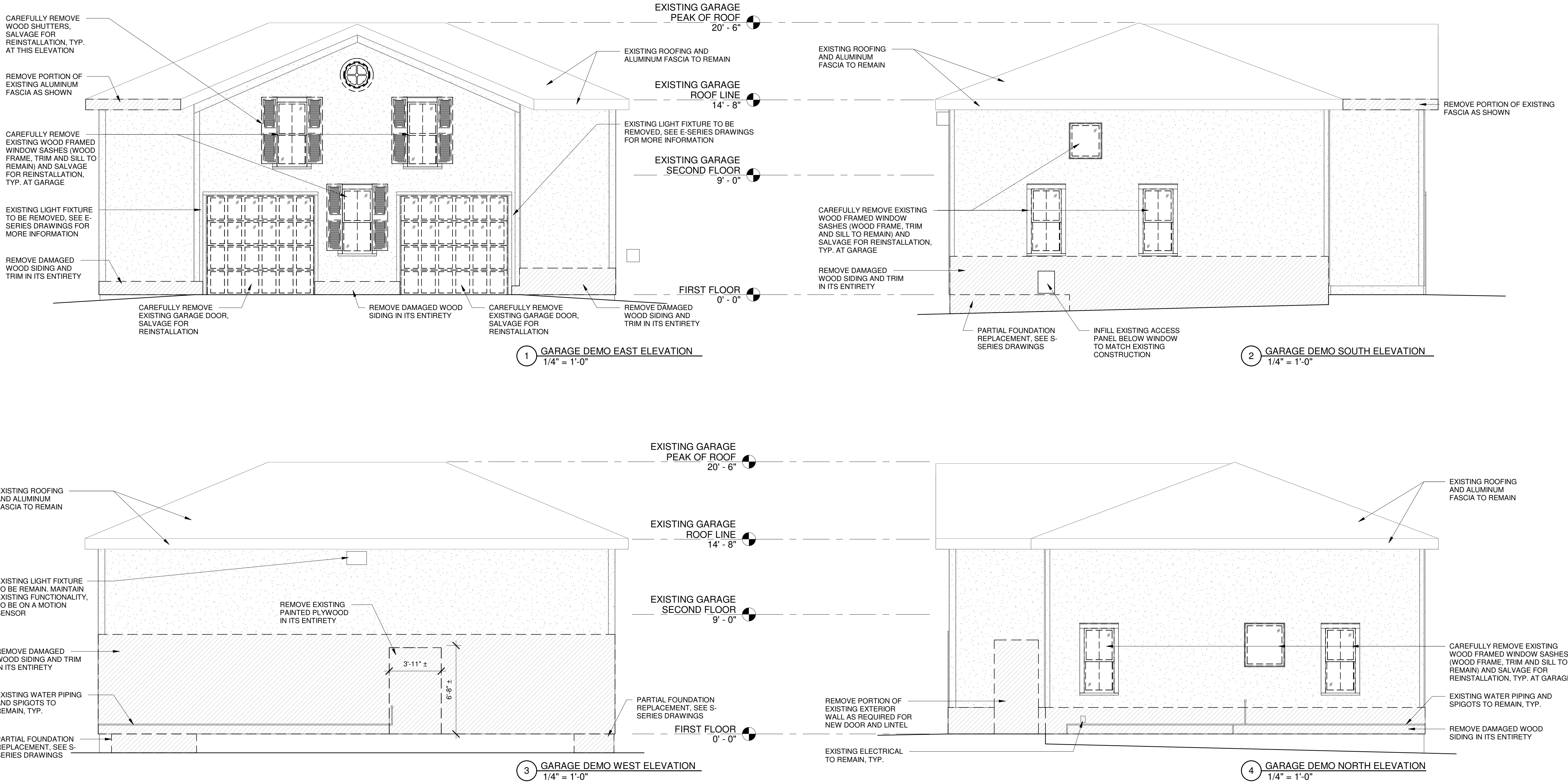
Project Number: FBA PROJECT #00388.00  
Scale: 1/4" = 1'-0"

Drawn By: MNB  
Checked By: MM

Drawing Title  
GARAGE DEMO ELEVATIONS

Drawing Number

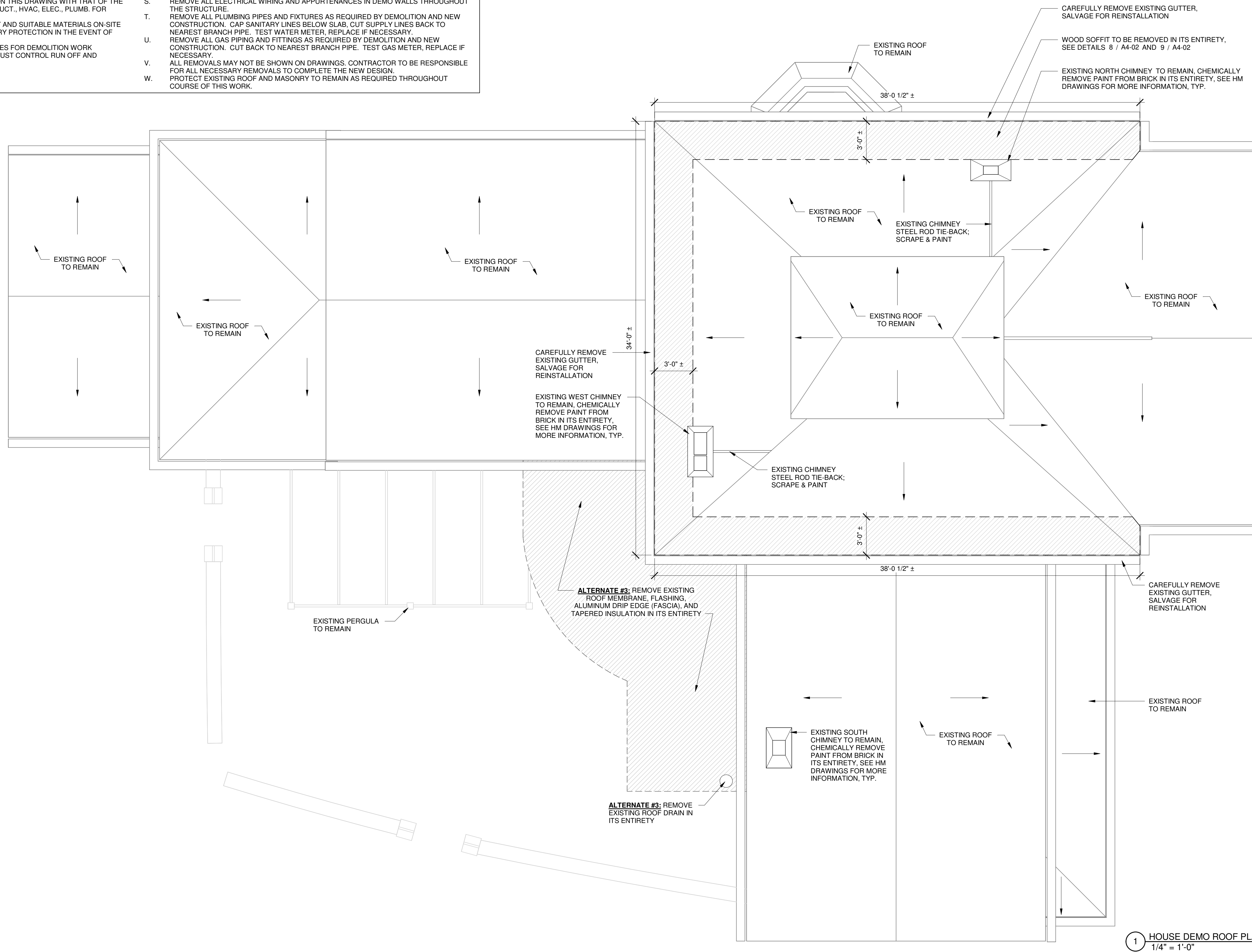
AD-02



- A. REFER TO ALL DRAWINGS, SPECIFICATIONS AND REFERENCED FIELD CONDITIONS TO DETERMINE FULL SCOPE AND PARTICULARS OF REMOVAL REQUIREMENTS PRIOR TO DEMOLITION.
- B. QUANTITIES AND DIMENSIONS SHOWN ON THIS DRAWING ARE BASED ON FIELD OBSERVATION AND ARE INTENDED TO SERVE AS AN ORDER OF MAGNITUDE INDICATION OF WORK. ACTUAL REQUIREMENTS MAY VARY. VERIFY ALL DIMENSIONS IN FIELD PRIOR TO PROCEEDING WITH WORK. NOTIFY ARCHITECT IF EXISTING CONDITIONS OCCUR DIFFERENTLY THAN IS DOCUMENTED.
- C. RESTORE ALL EXIST. CONDITIONS DAMAGED DURING REMOVAL WORK AND NOT SCHEDULED TO BE REMOVED, TO MATCH EXIST. CONDITIONS. ALL AREAS REQUIRING REMOVAL AND PATCHING SHALL BE FINISHED TO MATCH ADJACENT SURFACES UNLESS OTHERWISE NOTED.
- D. REMOVALS MAY INVOLVE HAZARDOUS MATERIALS IN ACCORDANCE WITH THE ABATEMENT DRAWINGS AND SURVEY. REFER TO THOSE DOCUMENTS FOR THE APPLICABLE CONFORMANCE CRITERIA AND REMEDIATION PROCEDURES WHEN DISCOVERING HAZARDOUS OR CONTAMINATED MATERIALS.
- E. UNLESS OTHERWISE NOTED, ALL REMOVALS IDENTIFIED IN THESE NOTES BECOME THE RESPONSIBILITY OF THE CONTRACTOR FOR REMEDIATION.
- F. COORDINATE ALL DEMOLITION WORK INDICATED ON THIS DRAWING WITH THAT OF THE OTHER TRADES. COORD. WITH HAZARD. MAT. STRUCT., HVAC, ELEC., PLUMB. FOR ADDITIONAL WORK.
- G. REMOVE OPERATIONS, HAVE SUFFICIENT AND SUITABLE MATERIALS ON-SITE TO FACILITATE RAPID INSTALLATION OF TEMPORARY PROTECTION IN THE EVENT OF INCLEMENT WEATHER.
- H. CONFORM TO APPLICABLE STATE AND LOCAL CODES FOR DEMOLITION WORK INCLUDING SAFETY OF ADJACENT STRUCTURES, DUST CONTROL, RUN OFF AND DISPOSAL.

- N. NOTIFY ALL AFFECTED UTILITY COMPANIES BEFORE STARTING WORK AND COMPLY WITH THEIR REQUIREMENTS.
- J. MARK LOCATION OF ALL UTILITIES.
- K. DO NOT CLOSE OR OBSTRUCT ROADWAYS, SIDEWALKS OR HYDRANTS WITHOUT PROPER PERMITS.
- L. PROVIDE, ERECT AND MAINTAIN TEMPORARY BARRIERS AND SECURITY DEVICES AT LOCATIONS REQUIRED TO PREVENT ENTRANCE TO WORK AREA.
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- R. CAP GASE SHOULD BE TAKEN TO PROVIDE PROPER BRACING OF THE STRUCTURE.
- S. REMOVE ALL ELECTRICAL WIRING AND APPURTENANCES IN DEMO WALLS THROUGHOUT THE STRUCTURE.
- T. REMOVE ALL PLUMBING PIPES AND FIXTURES AS REQUIRED BY DEMOLITION AND NEW CONSTRUCTION. CAP SANITARY LINES BELOW SLAB, CUT SUPPLY LINES BACK TO NEAREST BRANCH. TEST WATER METER. REPLACE IF NECESSARY.
- U. REMOVE ALL GAS PIPING AND FITTINGS AS REQUIRED BY DEMOLITION AND NEW CONSTRUCTION. CUT BACK TO NEAREST BRANCH PIPE. TEST GAS METER, REPLACE IF NECESSARY.
- V. ALL REMOVALS MAY NOT BE SHOWN ON DRAWINGS. CONTRACTOR TO BE RESPONSIBLE FOR NECESSARY REMOVALS TO COMPLETE THE NEW BRANCH.
- W. PROTECT EXISTING ROOF AND MASONRY TO REMAIN AS REQUIRED THROUGHOUT COURSE OF THIS WORK.

— — — EXISTING TO BE REMOVED  
 EXISTING TO BE REMOVED



The diagram shows a building layout with four sampling points marked by dots and numbered 1, 2, 3, and 4. Point 1 is located outside the building, near the entrance. Point 2 is located inside the building, near the entrance. Point 3 is located inside the building, near the entrance. Point 4 is located outside the building, near the entrance. A north arrow is shown in the bottom right corner, pointing upwards.



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PROJECT NO. 051037

LANFORD REHAB

## PHASE II EXTERIOR

194 CENTRAL AVENUE  
FREDONIA, NEW YORK 14063

100% CONSTRUCTION DOCUMENT SET

Revision Schedule		
Revision Number	Date	Description

DRAWING ISSUED: 10/1/2024

Project Number:  
FBA PROJECT #00388.00

Scale:  
1/4" = 1'-0"

Drawn By:  
MNB

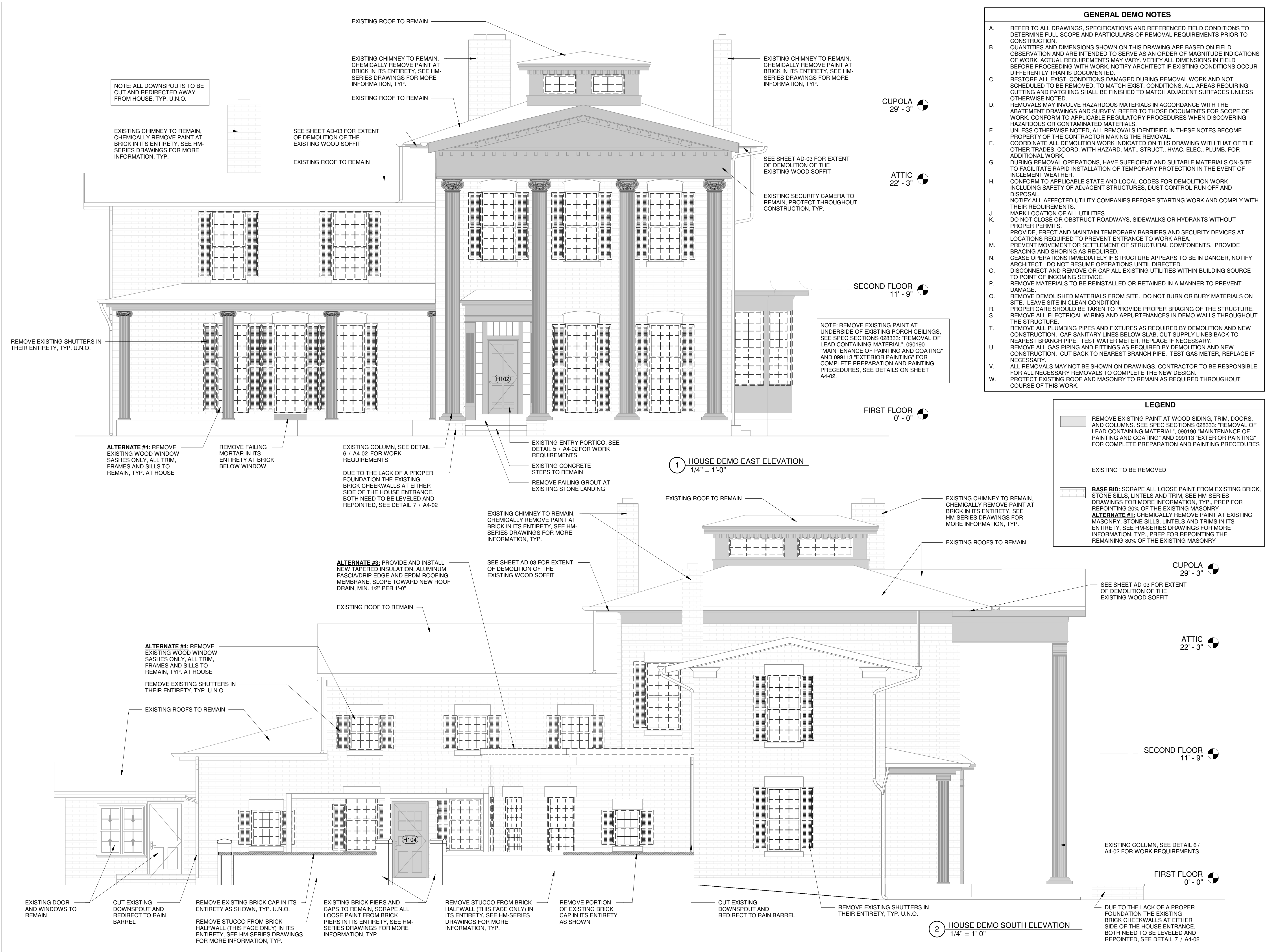
Checked By:  
MM

Drawing Title

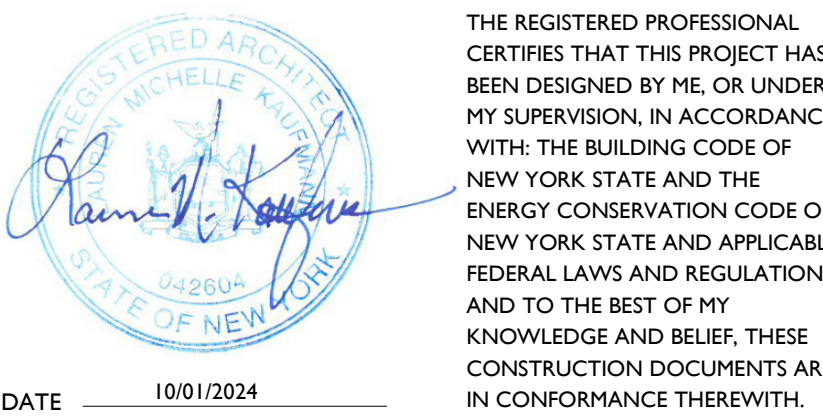
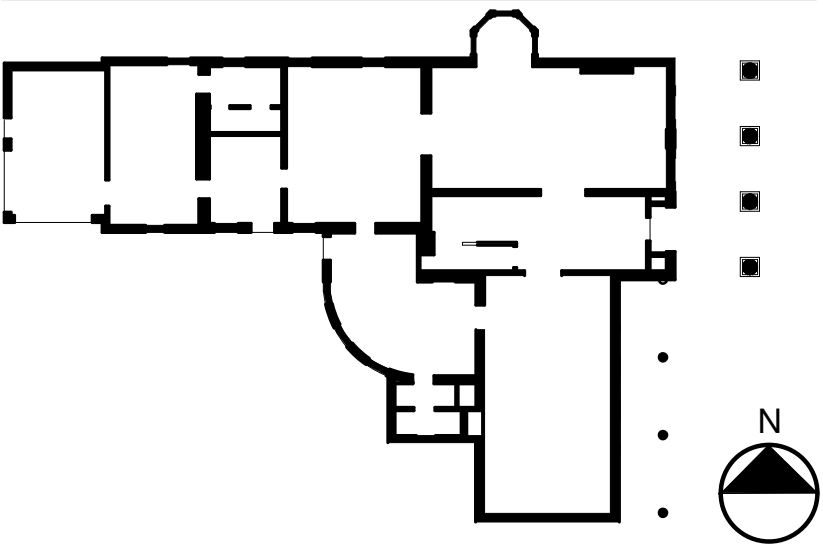
HOUSE DEMO ROOF PLAN

Drawing Number

# AD-03



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**PROJECT NO. 051037**  
**LANFORD REHAB**  
**PHASE II EXTERIOR**  
**194 CENTRAL AVENUE**  
**FREDONIA, NEW YORK 14063**

100% CONSTRUCTION DOCUMENT SET

Revision Schedule		
Revision Number	Date	Description

DRAWING ISSUED: 10/1/2024	
Project Number: FBA PROJECT #00388.00	Scale: 1/4" = 1'-0"
Drawn By: MNB	Checked By: MM

Drawing Title  
**HOUSE DEMO EAST AND SOUTH ELEVATIONS**

Drawing Number  
**AD-04**

EXISTING CHIMNEY TO REMAIN, CHEMICALLY REMOVE PAINT AT BRICK IN ITS ENTIRETY, SEE HM-SERIES DRAWINGS FOR MORE INFORMATION, TYP.

NOTE: ALL DOWNSPOUTS TO BE CUT AND REDIRECTED AWAY FROM HOUSE, TYP. U.N.O.

EXISTING ROOFS TO REMAIN

REMOVE EXISTING METAL BASEMENT ACCESS DOOR IN ITS ENTIRETY

EXISTING ROOF TO REMAIN

EXISTING CHIMNEY TO REMAIN, CHEMICALLY REMOVE PAINT AT BRICK IN ITS ENTIRETY, SEE HM-SERIES DRAWINGS FOR MORE INFORMATION, TYP.

REMOVE EXISTING LOUVERS, SALVAGE FOR REINSTALLATION

EXISTING ROOF TO REMAIN

EXISTING CHIMNEY TO REMAIN, CHEMICALLY REMOVE PAINT AT BRICK IN ITS ENTIRETY, SEE HM-SERIES DRAWINGS FOR MORE INFORMATION, TYP.

EXISTING ROOF TO REMAIN

CUPOLA  
29' - 3"

ATTIC  
22' - 3"

SECOND FLOOR  
11' - 9"

FIRST FLOOR  
0' - 0"

**ALTERNATE #4:** REMOVE EXISTING WOOD WINDOW SASHES ONLY, ALL TRIM, FRAMES AND SILLS TO REMAIN, TYP. AT HOUSE

REMOVE EXISTING SHUTTERS IN THEIR ENTIRETY, TYP. U.N.O.

**ALTERNATE #3:** REMOVE EXISTING ALUMINUM FASCIA AT THE LIBRARY ROOF IN ITS ENTIRETY

REMOVE STUCCO FROM BRICK HALF WALL (THIS FACE ONLY) IN ITS ENTIRETY, SEE HM-SERIES DRAWINGS FOR MORE INFORMATION, TYP.

REMOVE EXISTING BRICK CAP IN ITS ENTIRETY AS SHOWN, TYP. U.N.O.

SCRAPE ALL LOOSE PAINT FROM EXISTING BRICK (ALL SIDES), SEE HM-SERIES DRAWINGS FOR MORE INFORMATION, TYP.

EXISTING BRICK PIERS AND CAPS TO REMAIN, SCRAPE ALL LOOSE PAINT FROM BRICK PIERS IN ITS ENTIRETY, SEE HM-SERIES DRAWINGS FOR MORE INFORMATION, TYP.

SCRAPE ALL LOOSE PAINT FROM EXISTING BRICK (ALL SIDES), SEE HM-SERIES DRAWINGS FOR MORE INFORMATION, TYP.

**1 HOUSE DEMO WEST ELEVATION**  
1/4" = 1'-0"

NOTE: REMOVE EXISTING PAINT AT UNDERSIDE OF EXISTING PORCH CEILINGS, SEE SPEC SECTIONS 028333: "REMOVAL OF LEAD CONTAINING MATERIAL", 090190 "MAINTENANCE OF PAINTING AND COATING" AND 099113 "EXTERIOR PAINTING" FOR COMPLETE PREPARATION AND PAINTING PROCEDURES, SEE DETAIL 4 / A4-02 AND RCP

EXISTING CHIMNEY TO REMAIN, CHEMICALLY REMOVE PAINT AT BRICK IN ITS ENTIRETY, SEE HM-SERIES DRAWINGS FOR MORE INFORMATION, TYP.

EXISTING ROOF TO REMAIN

EXISTING ROOF TO REMAIN

EXISTING CHIMNEY TO REMAIN, CHEMICALLY REMOVE PAINT AT BRICK IN ITS ENTIRETY, SEE HM-SERIES DRAWINGS FOR MORE INFORMATION, TYP.

NOTE: ALL DOWNSPOUTS TO BE CUT AND REDIRECTED AWAY FROM HOUSE, TYP. U.N.O.

EXISTING ROOF TO REMAIN

REMOVE EXISTING SHUTTERS IN THEIR ENTIRETY, TYP. U.N.O.

**ALTERNATE #4:** REMOVE EXISTING WOOD WINDOW SASHES ONLY, ALL TRIM, FRAMES AND SILLS TO REMAIN, TYP. AT HOUSE

EXISTING ROOFS TO REMAIN

SECOND FLOOR  
11' - 9"

FIRST FLOOR  
0' - 0"

**2 HOUSE DEMO NORTH ELEVATION**  
1/4" = 1'-0"

EXISTING WALL MOUNTED ELECTRICAL COMPONENTS TO REMAIN

REMOVE EXISTING METAL BASEMENT ACCESS DOOR IN ITS ENTIRETY INCLUDING FLASHING AT EXISTING MASONRY WALL

EXISTING ACCU'S TO REMAIN

**LEGEND**

REMOVE EXISTING PAINT AT WOOD SIDING, TRIM, DOORS, AND COLUMNS. SEE SPEC SECTIONS 028333: "REMOVAL OF LEAD CONTAINING MATERIAL", 090190 "MAINTENANCE OF PAINTING AND COATING" AND 099113 "EXTERIOR PAINTING" FOR COMPLETE PREPARATION AND PAINTING PRECEDURES

EXISTING TO BE REMOVED

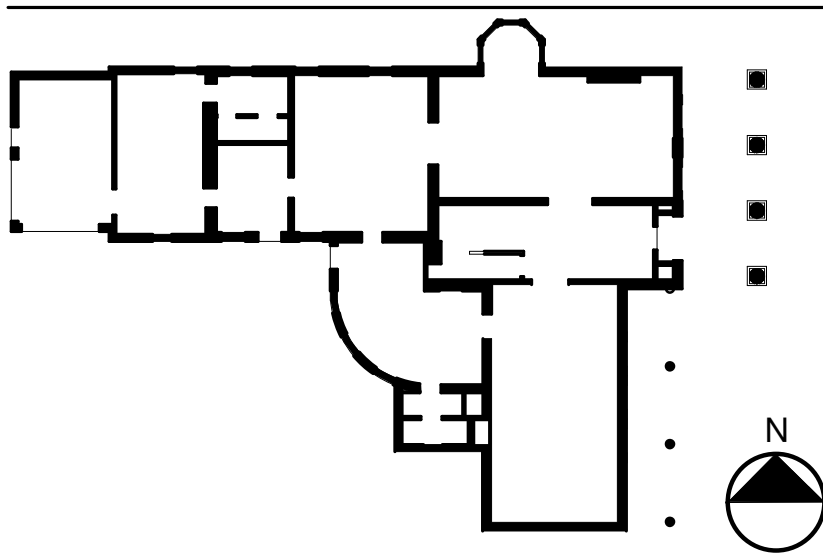
**BASE BID:** SCRAPE ALL LOOSE PAINT FROM EXISTING BRICK, STONE SILLS, LINTELS AND TRIM, SEE HM-SERIES DRAWINGS FOR MORE INFORMATION, TYP., PREP FOR REPOINTING 20% OF THE EXISTING MASONRY

**ALTERNATE #1:** CHEMICALLY REMOVE PAINT AT EXISTING MASONRY, STONE SILLS, LINTELS AND TRIMS IN ITS ENTIRETY, SEE HM-SERIES DRAWINGS FOR MORE INFORMATION, TYP., PREP FOR REPOINTING THE REMAINING 80% OF THE EXISTING MASONRY

CUPOLA  
29' - 3"

ATTIC  
22' - 3"

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PROJECT NO. 051037  
LANFORD REHAB  
PHASE II EXTERIOR

194 CENTRAL AVENUE  
FREDONIA, NEW YORK 14063

100% CONSTRUCTION DOCUMENT SET

Revision Schedule		
Revision Number	Date	Description

DRAWING ISSUED: 10/1/2024

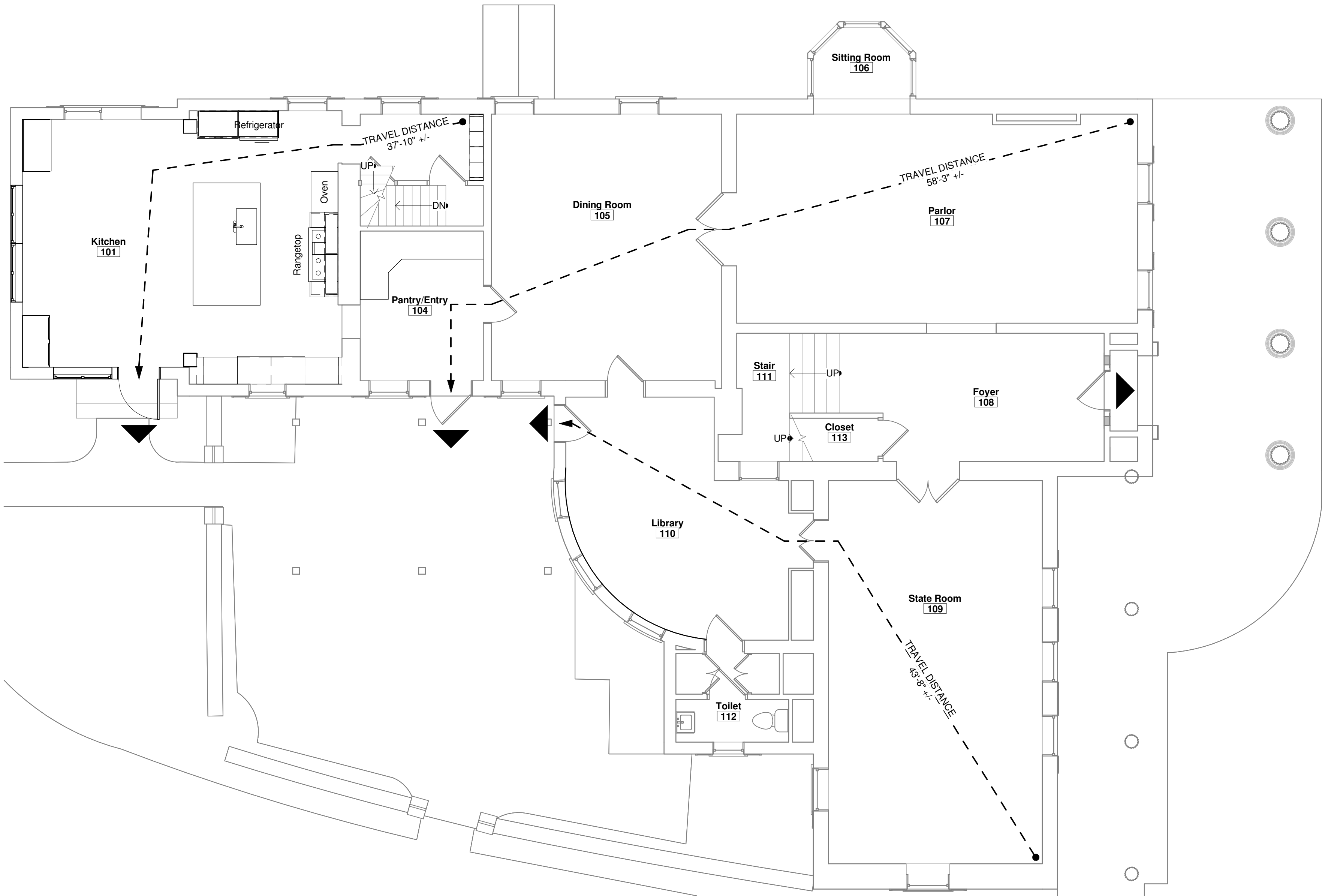
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Scale: 1/4" = 1'-0"

Drawn By: MNB  
Checked By: MM

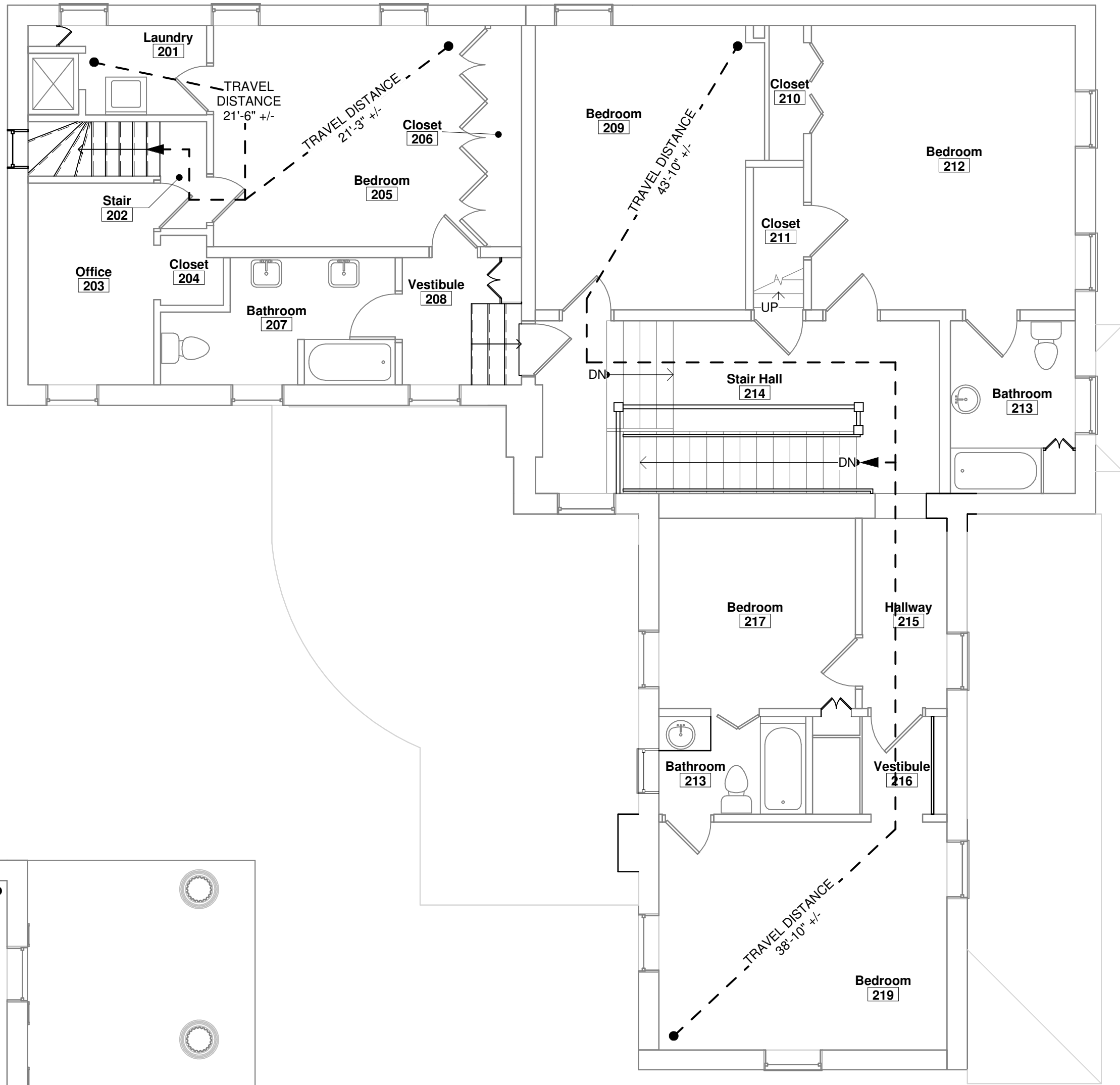
Drawing Title  
HOUSE DEMO WEST AND NORTH ELEVATIONS

Drawing Number

AD-05



1 FIRST FLOOR PLAN  
3/16" = 1'-0"

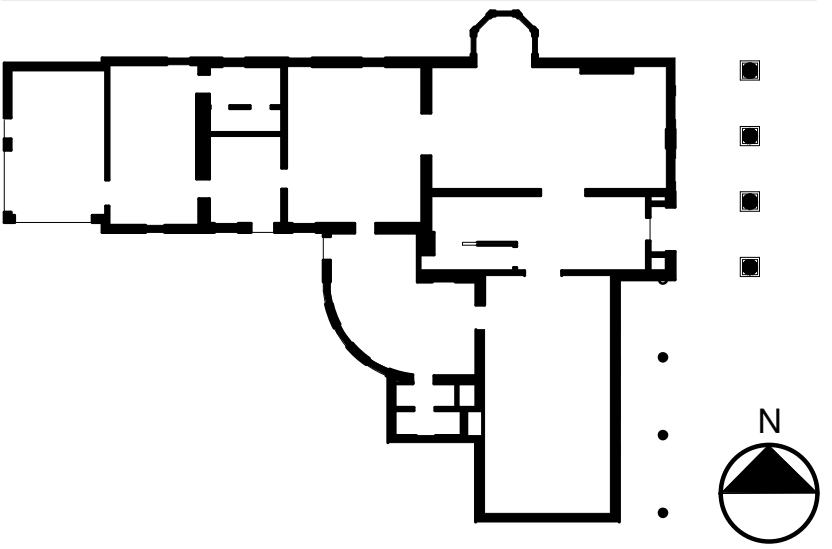


2 SECOND FLOOR PLAN  
3/16" = 1'-0"

NOTE: OWNER WILL BE OCCUPYING THE MAIN HOUSE THROUGHOUT CONSTRUCTION.  
CONTRACTOR TO MAINTAIN EMERGENCY EGRESS THROUGHOUT CONSTRUCTION.

NOTE: PER THE 2020 RESIDENTIAL CODE OF NEW YORK STATE SECTION R310.1 EACH  
SLEEPING ROOM SHALL HAVE NOT LESS THAN ONE OPERABLE EMERGENCY ESCAPE  
AND RESCUE OPENING THROUGHOUT CONSTRUCTION.

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ENERGY CONSERVATION CODE OF  
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PHASE II EXTERIOR  
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FREDONIA, NEW YORK 14063

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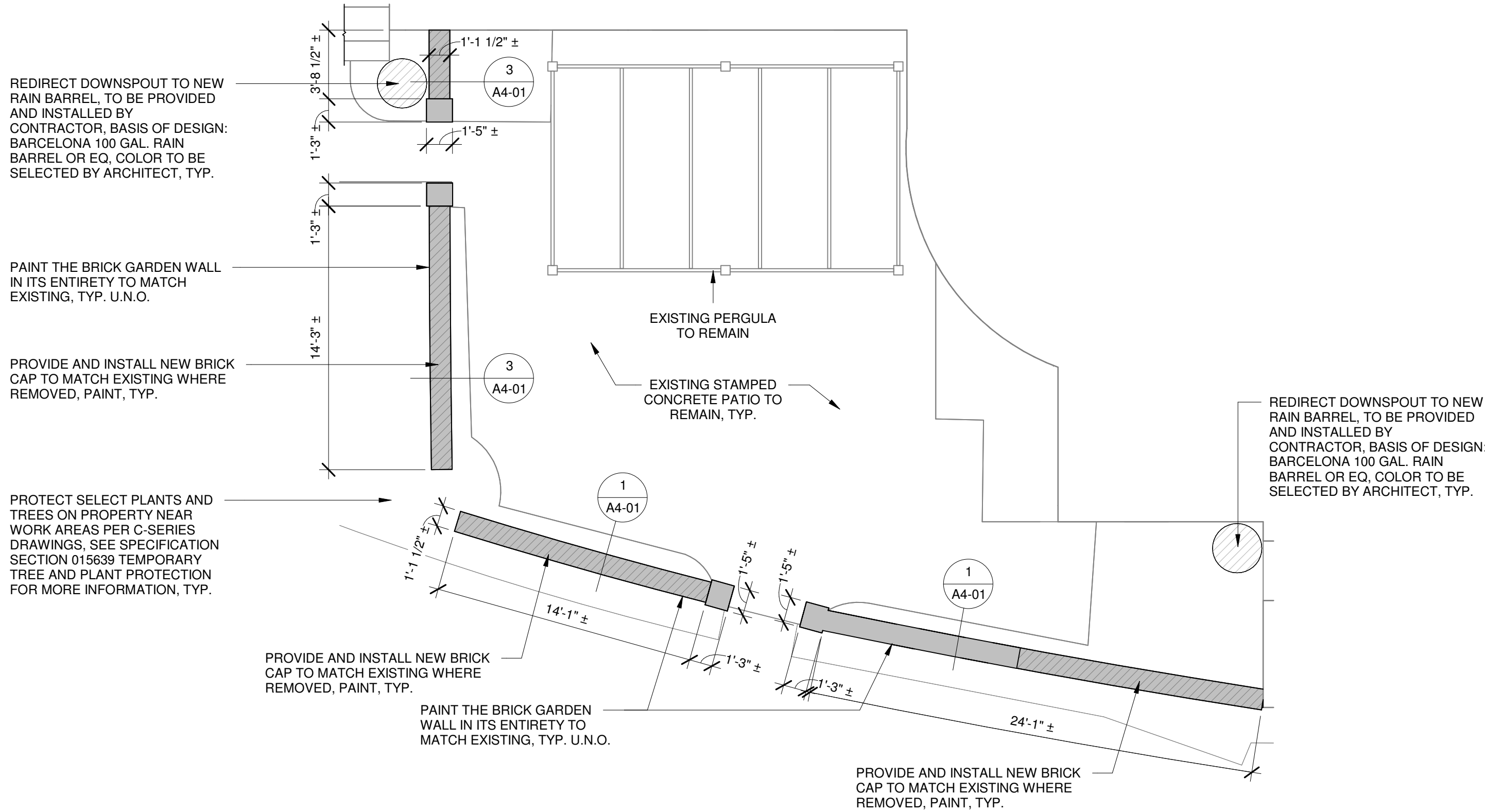
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Scale: 3/16" = 1'-0"

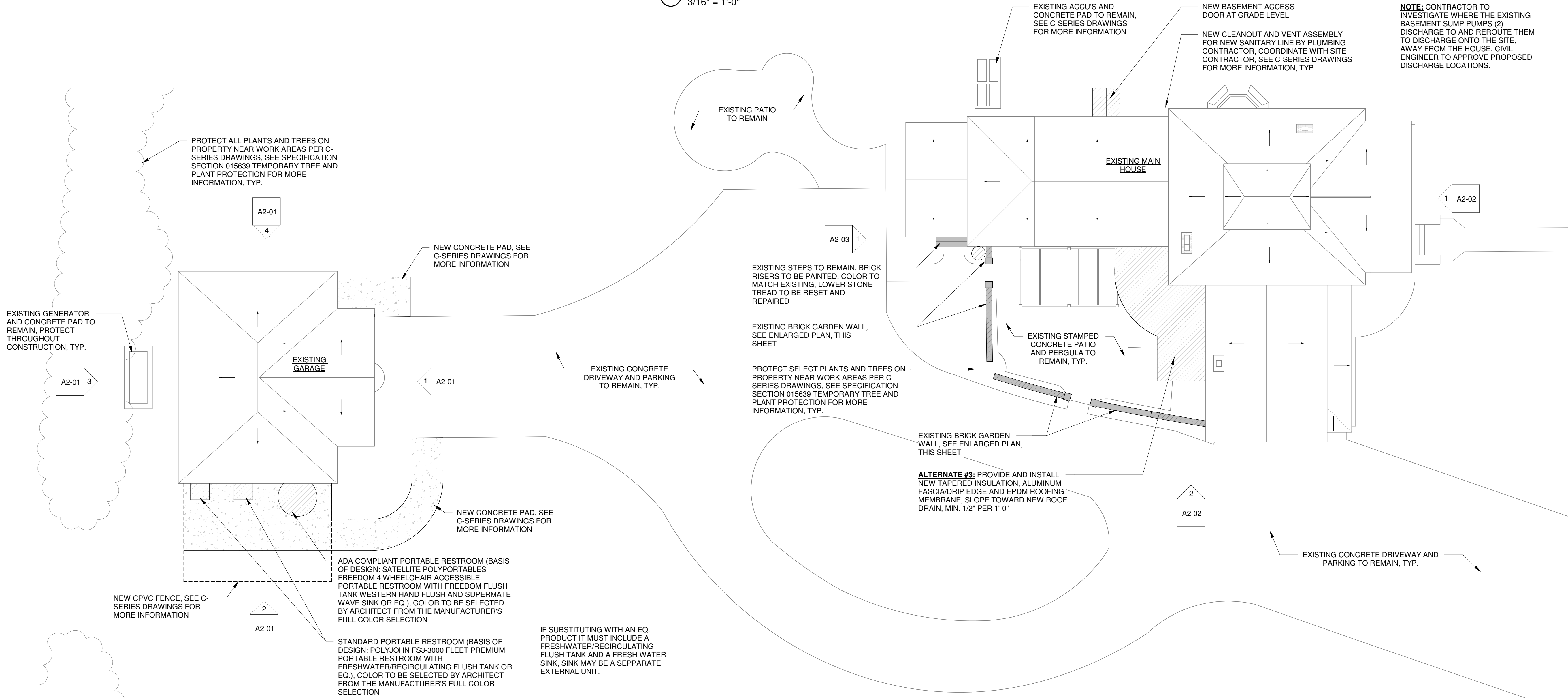
Drawn By: MNB  
Checked By: MM

Drawing Title  
CODE CONFORMANCE PLANS

Drawing Number  
CC-01

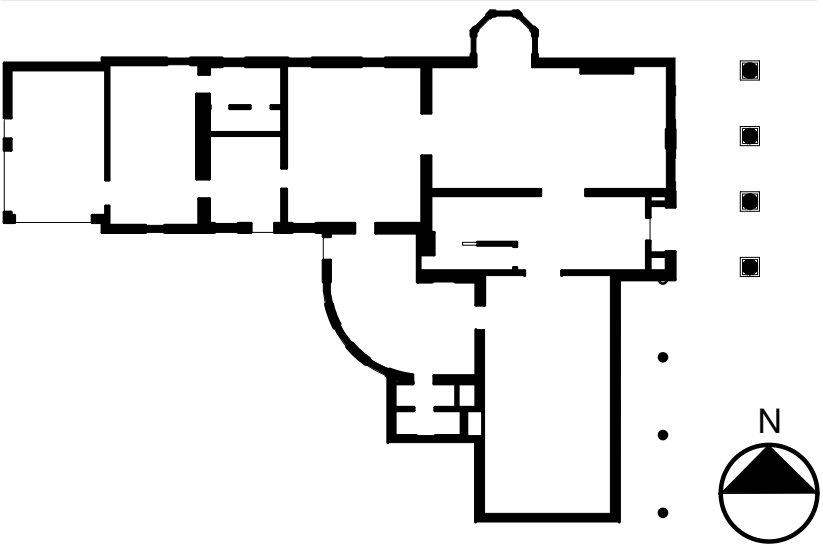


2 ENLARGED SITE PLAN  
3/16" = 1'-0"



1 SITE PLAN  
3/32" = 1'-0"

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DATE 10/01/2024

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PROJECT NO. 051037  
LANFORD REHAB  
PHASE II EXTERIOR  
194 CENTRAL AVENUE  
FREDONIA, NEW YORK 14063

100% CONSTRUCTION DOCUMENT SET

Revision Schedule		
Revision Number	Date	Description

DRAWING ISSUED: 10/1/2024

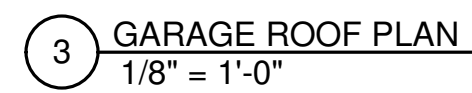
Project Number: FBA PROJECT #00388.00 Scale: As indicated

Drawn By: MNB Checked By: MM

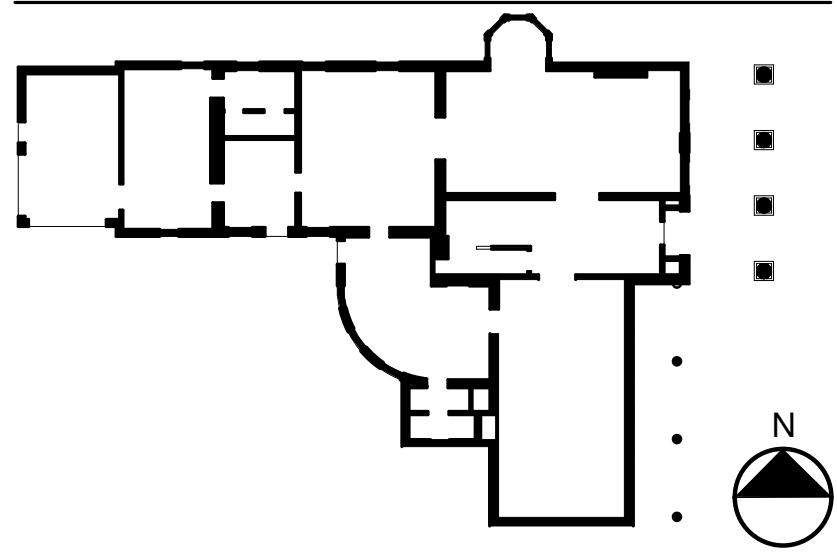
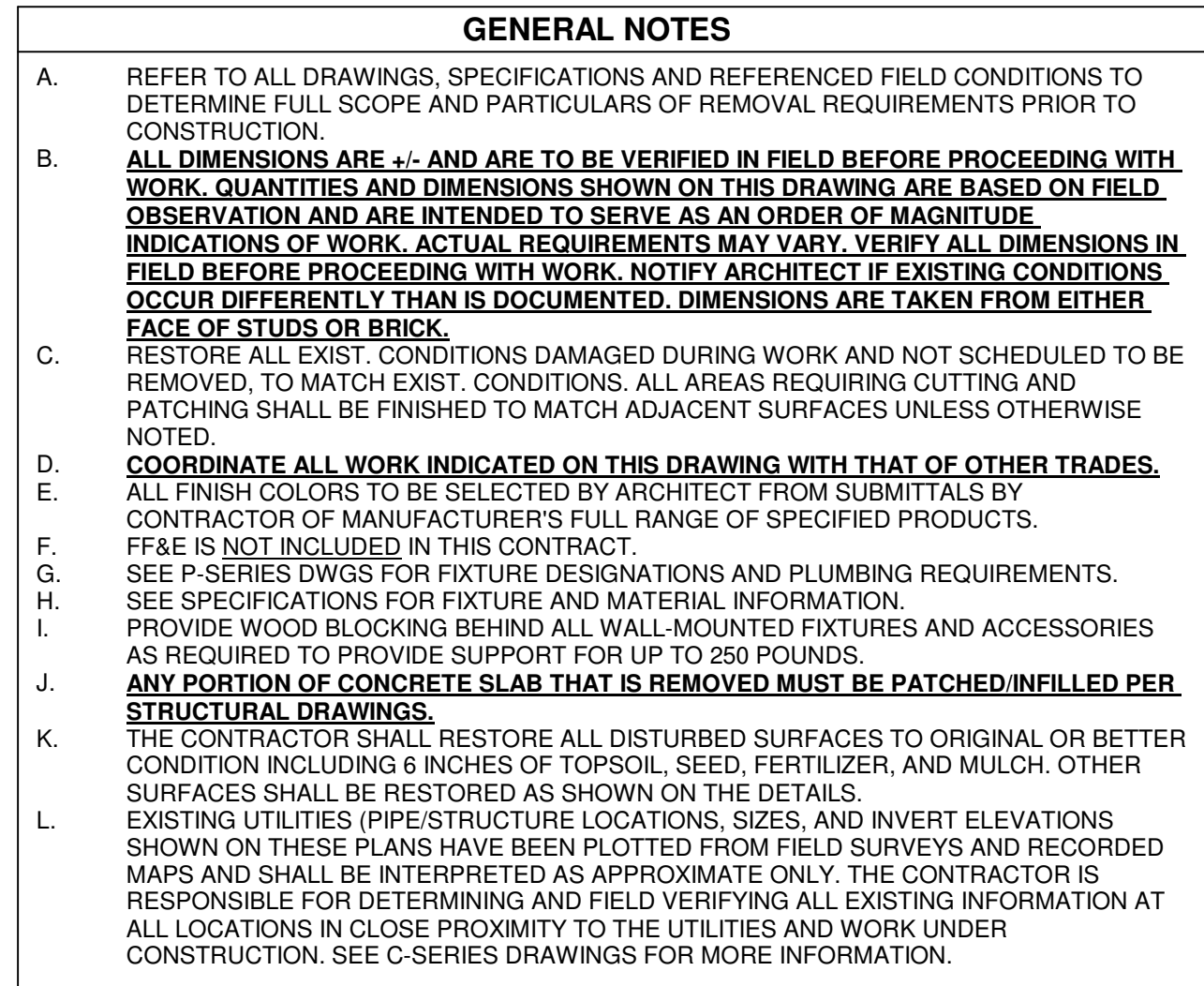
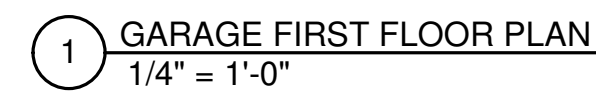
Drawing Title  
SITE PLAN

Drawing Number

A1-00



— PROVIDE AND INSTALL NEW  
WOOD SOFFIT TO MATCH  
EXISTING, PAINT TO MATCH  
EXISTING



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DATE 10/01/2024

274 North Goodman Street  
Rochester, New York 14607  
Telephone (585) 271-0040

194 CENTRAL AVENUE  
FREDONIA, NEW YORK 14063

100% CONSTRUCTION DOCUMENT SET

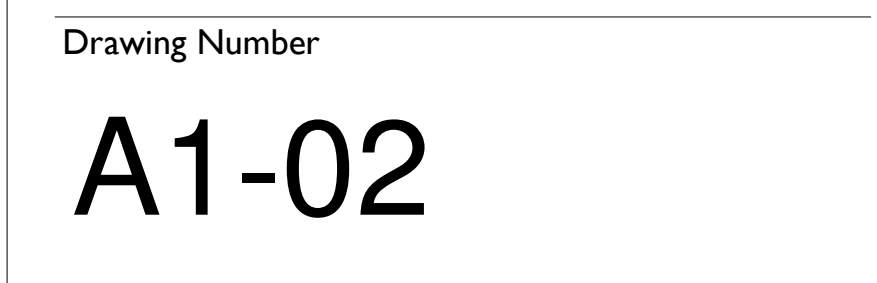
Revision Schedule		
Revision Number	Date	Description

Checked By:	MM
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Drawing Title  
GARAGE PLANS

Drawing Number

A1-01

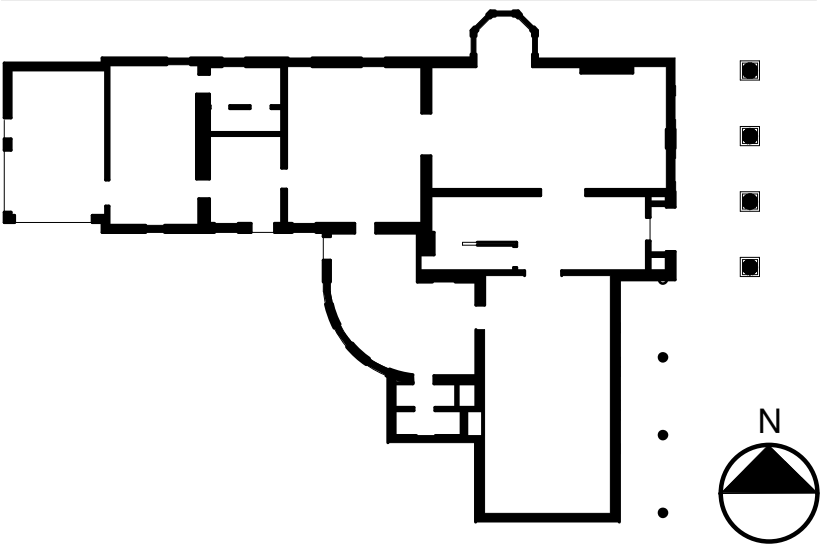


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LEGEND	
	NEW WOOD SIDING TO MATCH EXISTING
	NEW FOUNDATION, SEE S-SERIES DRAWINGS
	NEW ALUMINUM FASCIA
	PAINT EXISTING EXTERIOR WOOD SIDING & TRIM TO MATCH EXISTING
	NEW WOOD SIDING & TRIM TO MATCH EXISTING, PAINT

- GENERAL NOTES**
- A. REFER TO ALL DRAWINGS, SPECIFICATIONS AND REFERENCED FIELD CONDITIONS TO DETERMINE FULL SCOPE AND PARTICULARS OF REMOVAL REQUIREMENTS PRIOR TO CONSTRUCTION.
- B. **ALL DIMENSIONS ARE +/- AND ARE TO BE VERIFIED IN FIELD BEFORE PROCEEDING WITH WORK. QUANTITIES AND DIMENSIONS SHOWN ON THIS DRAWING ARE BASED ON FIELD OBSERVATION AND ARE INTENDED TO SERVE AS AN ORDER OF MAGNITUDE. INDICATIONS OF WORK, ACTUAL REQUIREMENTS MAY VARY. VERIFY ALL DIMENSIONS IN FIELD BEFORE PROCEEDING WITH WORK. NOTIFY ARCHITECT IF EXISTING CONDITIONS OCCUR DIFFERENTLY THAN IS DOCUMENTED. DIMENSIONS ARE TAKEN FROM EITHER FACE OF STUDS OR BRICK.**
- C. RESTORE ALL EXIST. CONDITIONS DAMAGED DURING WORK AND NOT SCHEDULED TO BE REMOVED, TO MATCH EXIST. CONDITIONS. ALL AREAS REQUIRING CUTTING AND PATCHING SHALL BE FINISHED TO MATCH ADJACENT SURFACES UNLESS OTHERWISE NOTED.
- D. **COORDINATE ALL WORK INDICATED ON THIS DRAWING WITH THAT OF OTHER TRADES.**
- E. ALL FINISH COLORS TO BE SELECTED BY ARCHITECT FROM SUBMITTALS BY CONTRACTOR OF MANUFACTURER'S FULL RANGE OF SPECIFIED PRODUCTS. FF&E IS NOT INCLUDED IN THIS CONTRACT.
- F. SEE P-SERIES DWGS FOR FIXTURE DESIGNATIONS AND PLUMBING REQUIREMENTS. SEE SPECIFICATIONS FOR FIXTURE AND MATERIAL INFORMATION.
- H. PROVIDE WOOD BLOCKING BEHIND ALL WALL-MOUNTED FIXTURES AND ACCESSORIES AS REQUIRED TO PROVIDE SUPPORT FOR UP TO 250 POUNDS.
- J. **ANY PORTION OF CONCRETE SLAB THAT IS REMOVED MUST BE PATCHED/INFILLED PER STRUCTURAL DRAWINGS.**
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PROJECT NO. 051037  
LANFORD REHAB  
PHASE II EXTERIOR

194 CENTRAL AVENUE  
FREDONIA, NEW YORK 14063

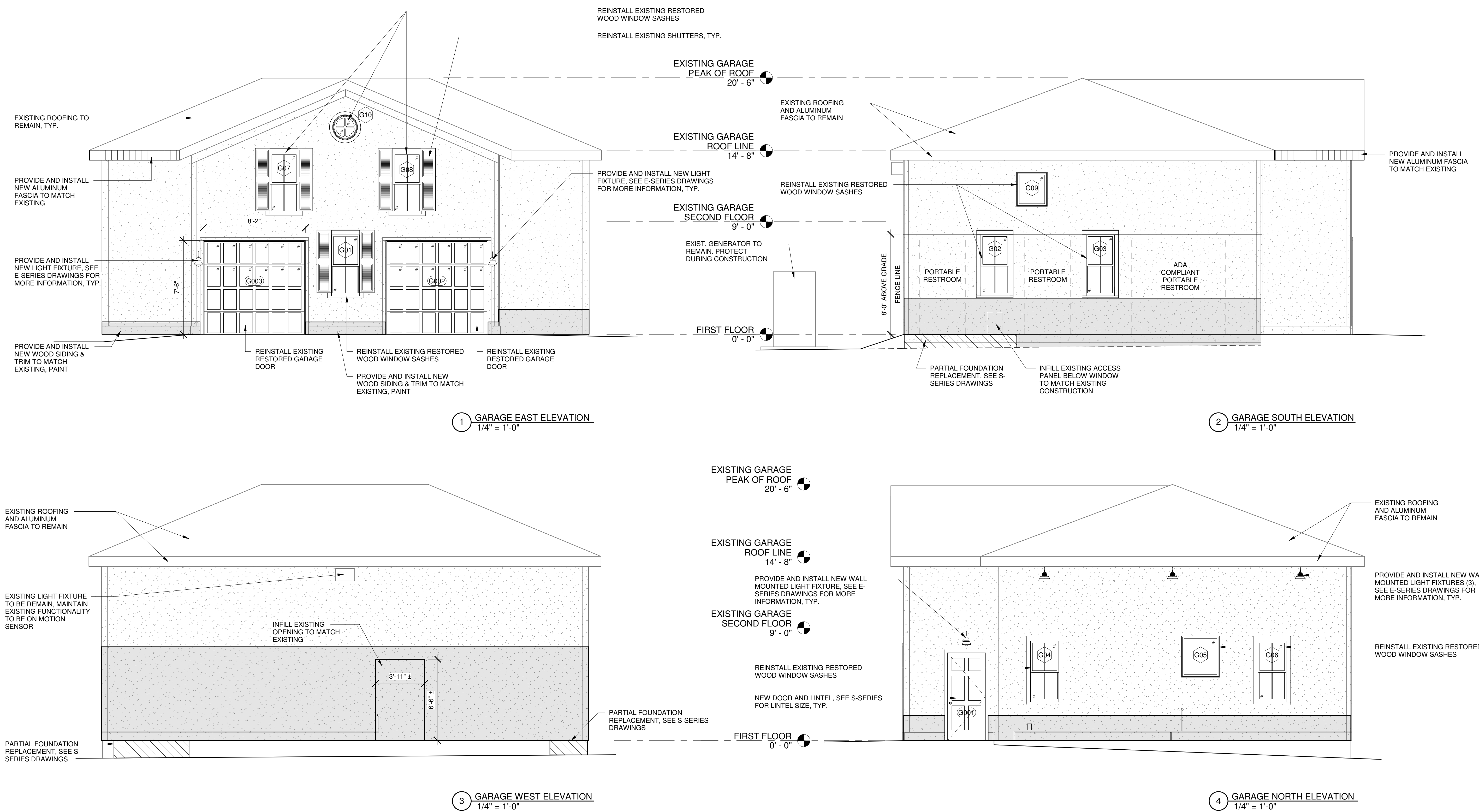
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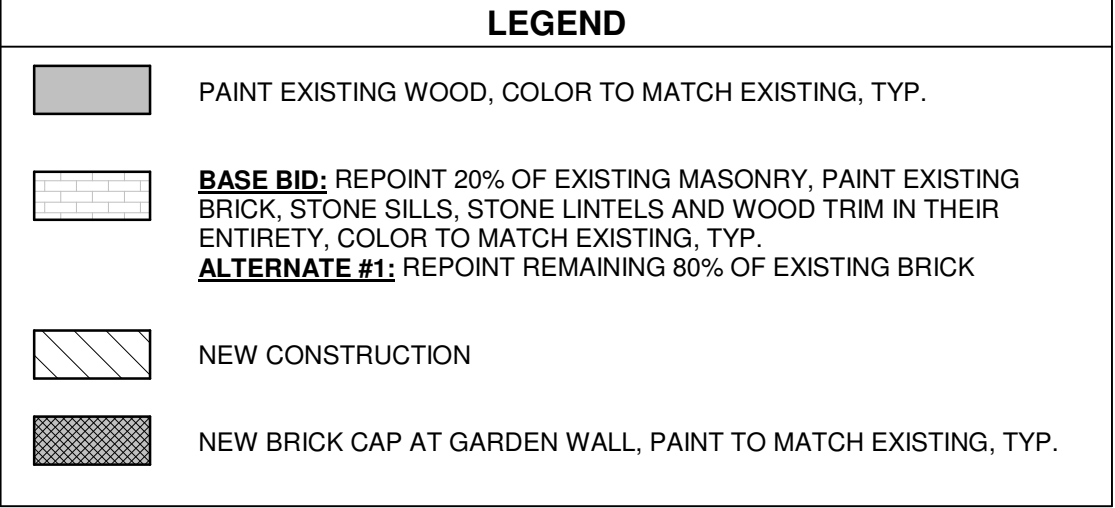
DRAWING ISSUED:		10/1/2024
Project Number:	Scale:	1/4" = 1'-0"
FBA PROJECT #00388.00		
Drawn By:	Checked By:	
MNB	MM	

Drawing Title  
GARAGE ELEVATIONS

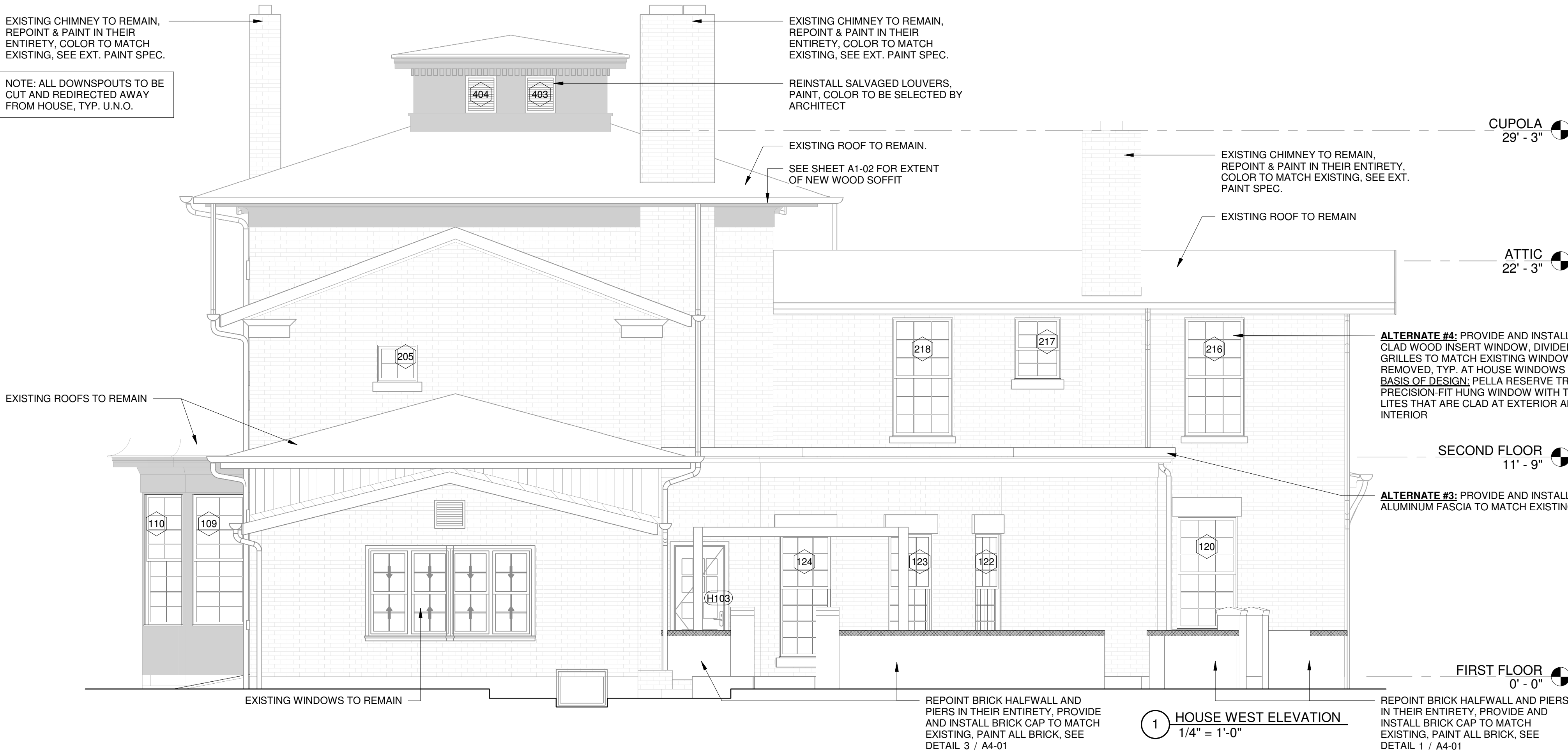
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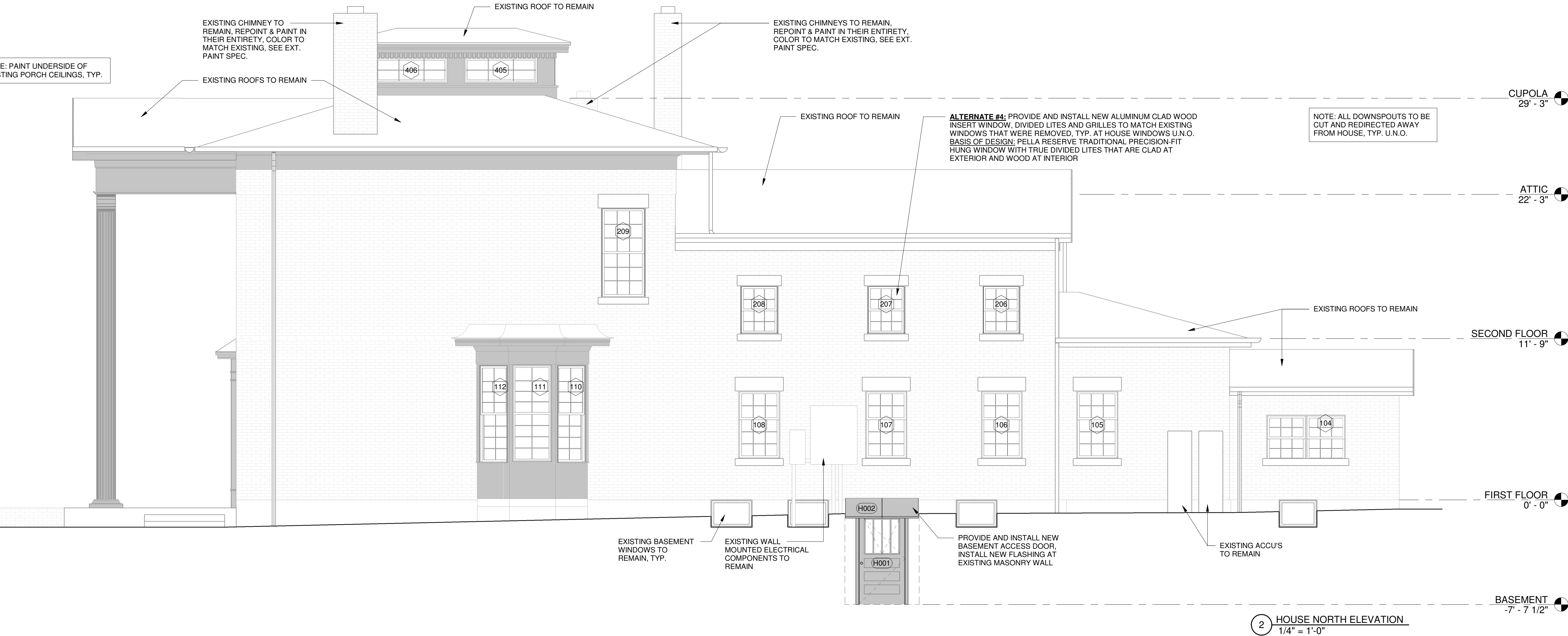
2 HOUSE SOUTH ELEVATION  
1/4" = 1'-0"



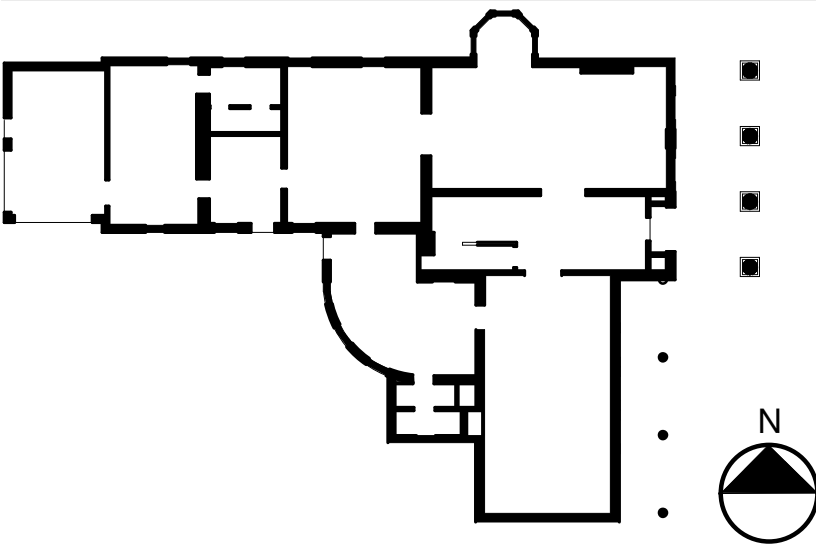
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**LEGEND**

	PAINT EXISTING WOOD, COLOR TO MATCH EXISTING, TYP.
	<b>BASE BID:</b> REPOINT 20% OF EXISTING MASONRY, PAINT EXISTING BRICK, STONE SILLS, STONE LINTELS AND WOOD TRIM IN THEIR ENTIRETY, COLOR TO MATCH EXISTING, TYP. <b>ALTERNATE #1:</b> REPOINT REMAINING 80% OF EXISTING BRICK
	NEW CONSTRUCTION
	NEW BRICK CAP AT GARDEN WALL, PAINT TO MATCH EXISTING, TYP.



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PROJECT NO. 051037  
LANFORD REHAB  
PHASE II EXTERIOR  
194 CENTRAL AVENUE  
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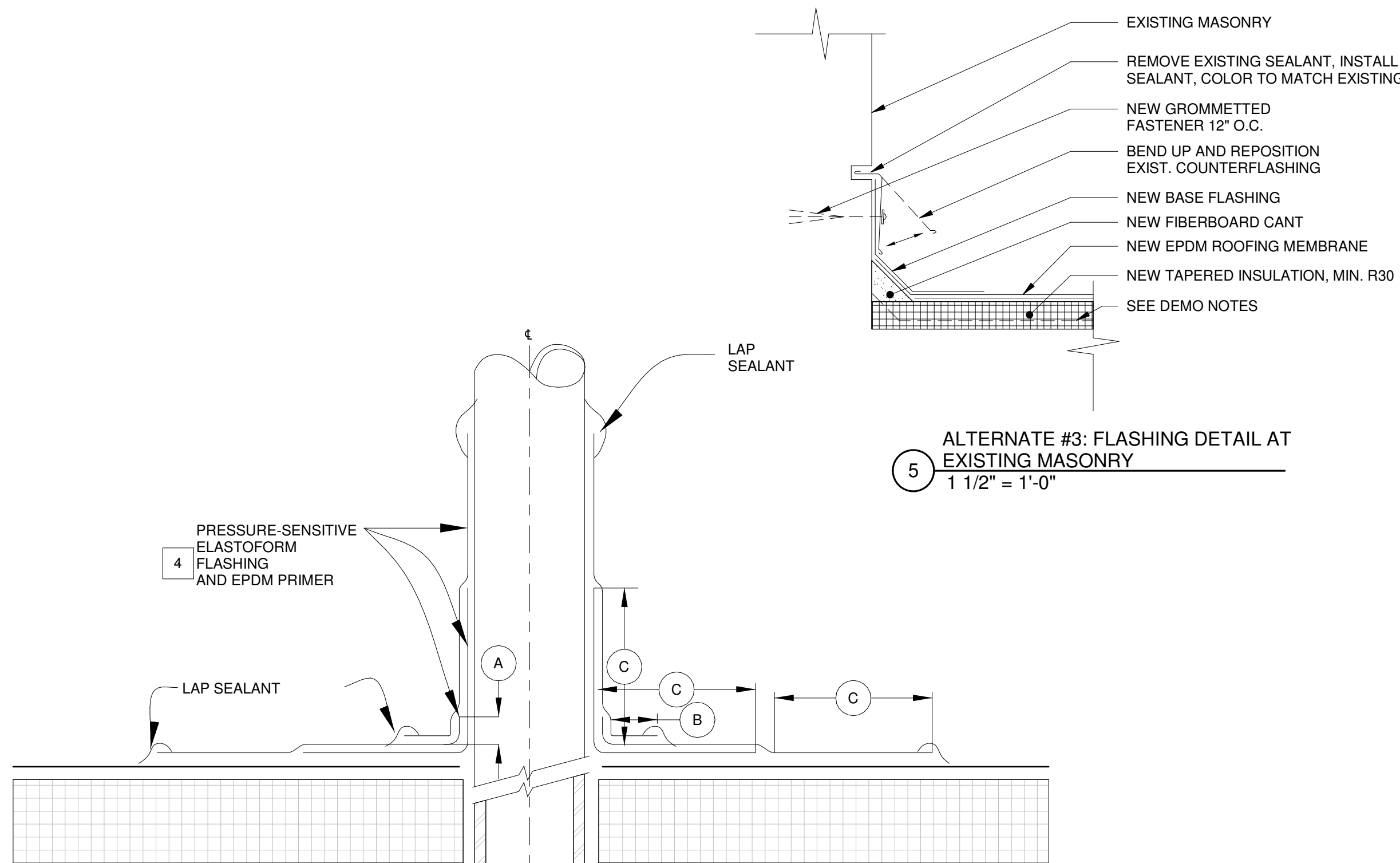
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Revision Schedule		
Revision Number	Date	Description

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Project Number: FBA PROJECT #00388.00	Scale: 1/4" = 1'-0"
Drawn By: MNB	Checked By: MM

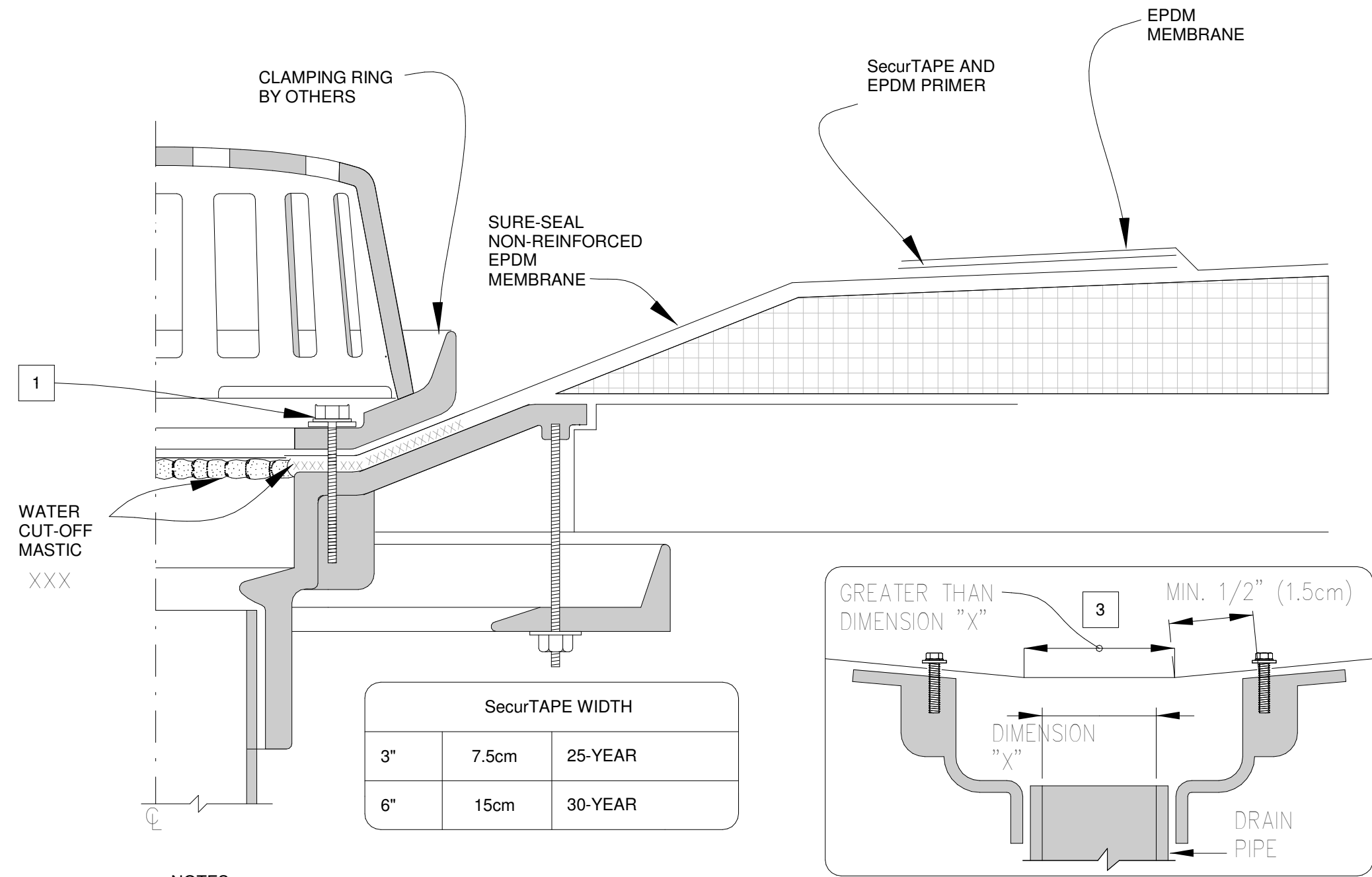
Drawing Title  
HOUSE WEST AND NORTH ELEVATIONS

Drawing Number  
**A2-03**

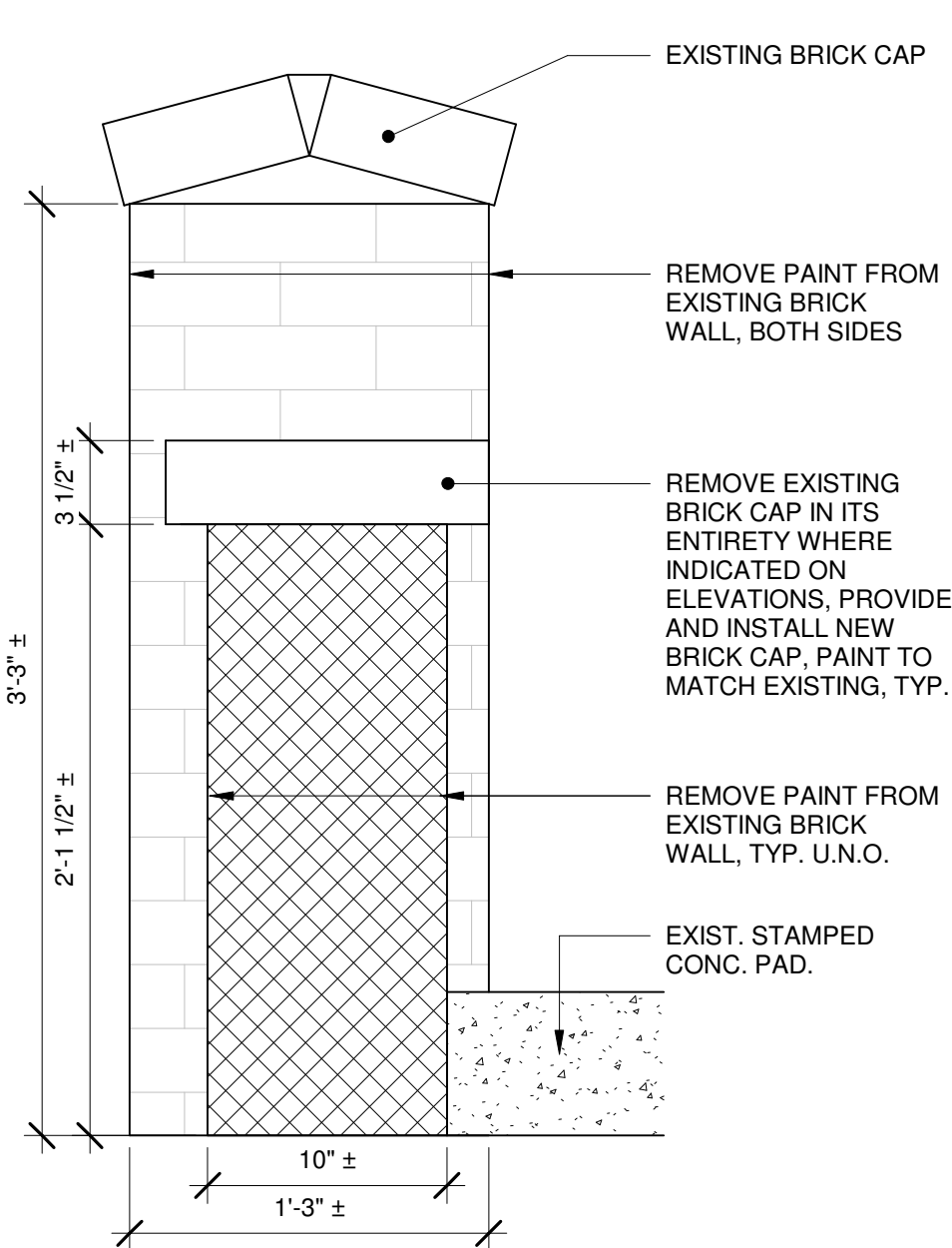
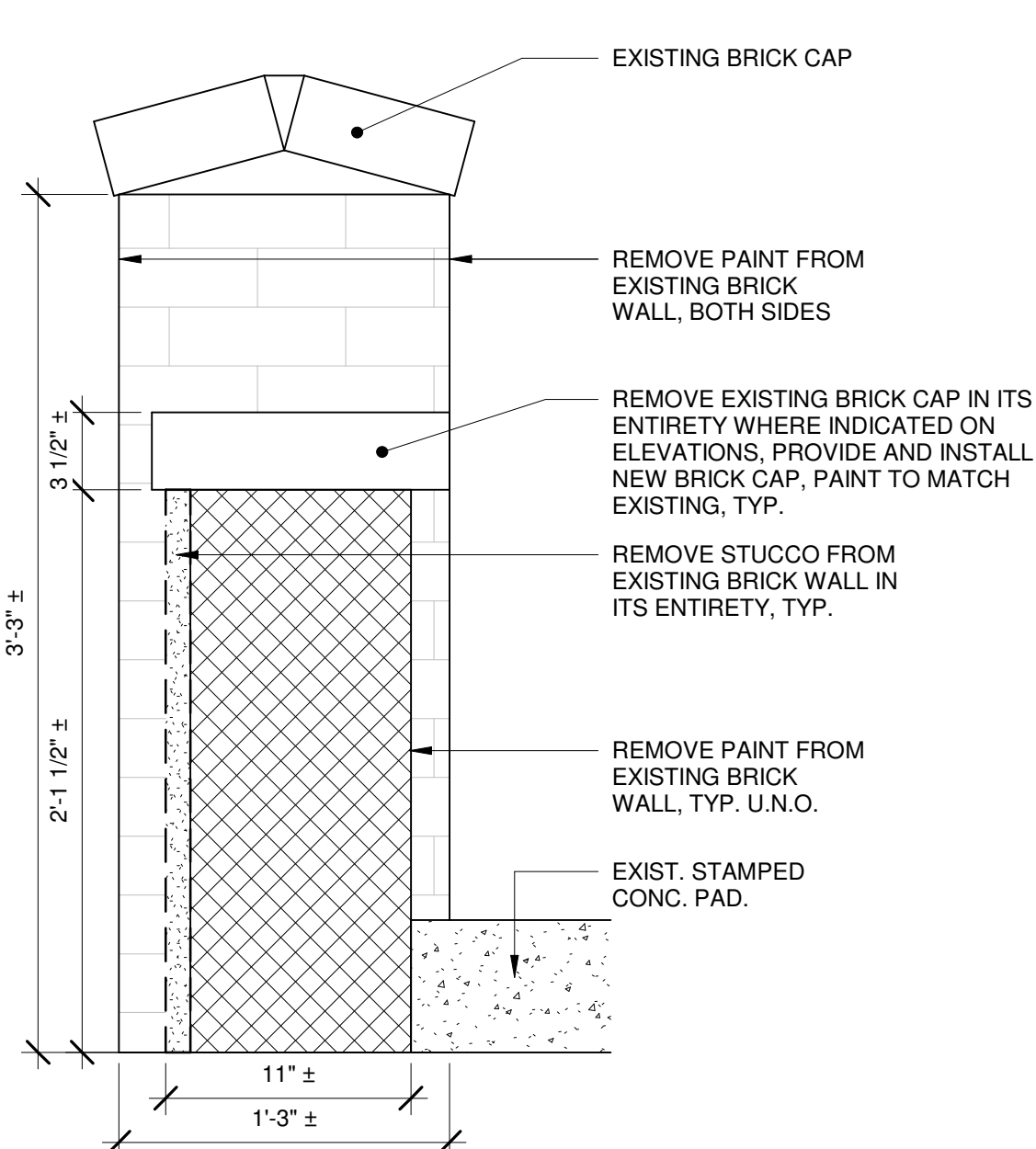
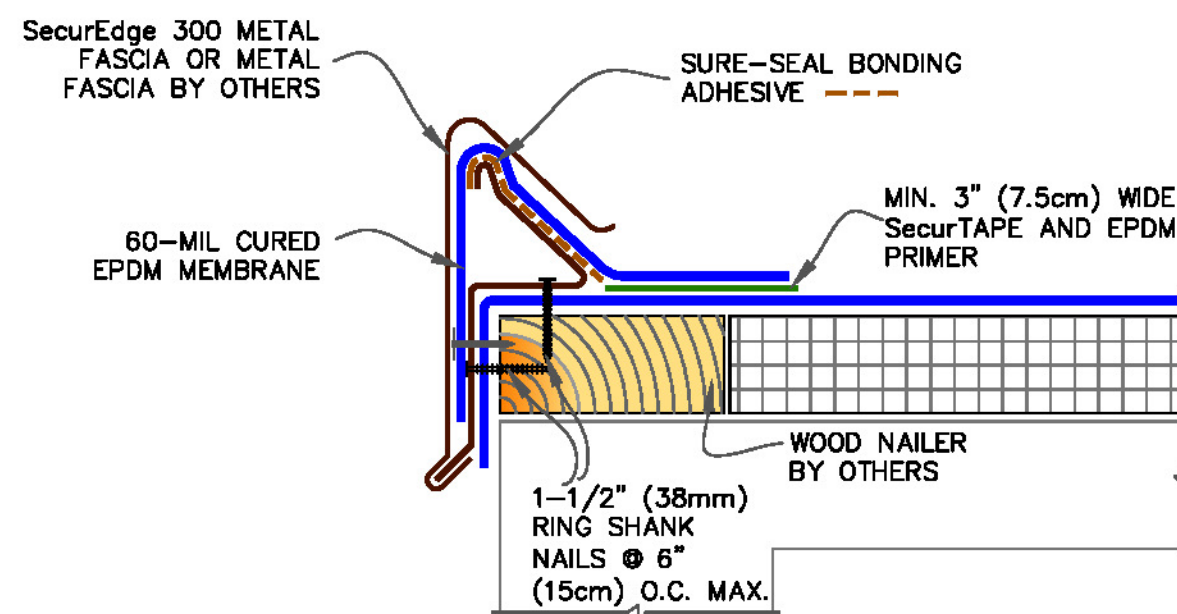
**NOTES:**

1. REMOVE ALL LEAD AND OTHER FLASHING BEFORE INSTALLING FIELD-FABRICATED FLASHING.
2. TEMPERATURE OF PIPE PENETRATION MUST NOT EXCEED 180°F (82°C).
3. PIPE FLASHING MAY BE USED WITH SQUARE OR RECTANGULAR STRUCTURAL TUBING WITH ROUNDED CORNERS.
4. IN COLDER TEMPERATURES, A HEAT GUN MUST BE USED WHEN FORMING PRESSURE-SENSITIVE ELASTOFORM FLASHING.

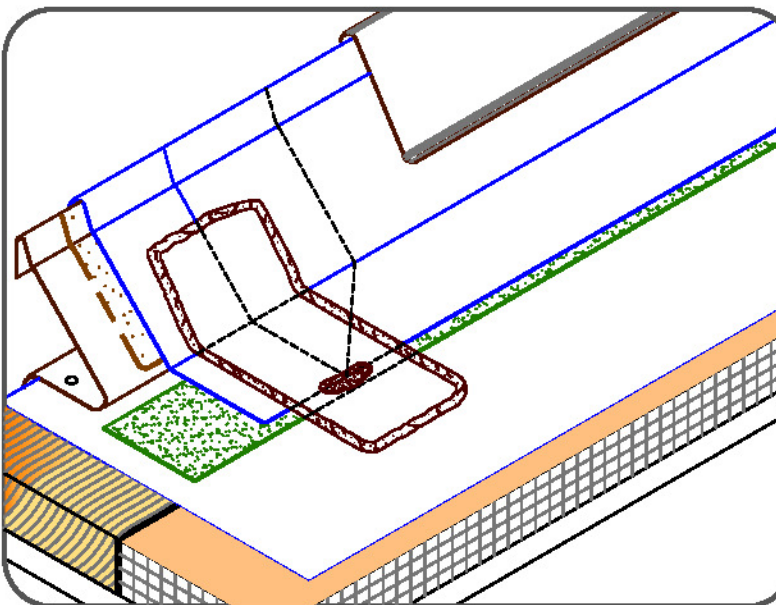
DIMENSIONS		cm	
A	1/2"	1.5	MIN.
B	1"	2.5	MIN.
C	3"	7.5	MIN.

**6 PLUMBING VENT FLASHING**  
6" = 1'-0"**NOTES:**

1. ALL BOLTS OR CLAMPS MUST BE IN PLACE TO PROVIDE CONSTANT COMPRESSION ON WATER CUT-OFF MASTIC.
2. REMOVE EXISTING LEAD, FLASHING MATERIAL & ENSURE THE DRAIN RING IS COMPLETELY CLEAN DOWN TO BARE METAL.
3. THE HOLE IN THE MEMBRANE SHALL EXCEED THE DIAMETER OF THE DRAIN PIPE, BUT SHALL BE NO LESS THAN 1/2" (1.5cm) FROM THE ATTACHMENT POINTS OF THE DRAIN CLAMPING RING.
4. ROOF DRAIN SIZE AND NUMBER OF DRAINS SHALL BE IN ACCORDANCE WITH THE LOCAL CODES.
5. FIELD SPLICES MUST BE LOCATED AT LEAST 6" (15cm) OUTSIDE THE DRAIN SUMP.
6. CARLISLE RECOMMENDS THE DRAIN TARGET SPlice BE SHINGLED
  - 6.1 CUT A SQUARE HOLE IN THE FIELD SHEET TO BE AT LEAST 6" (15cm) OUTSIDE THE DRAIN SUMP
  - 6.2 APPLY PRIMER AND SecurTAPE TO THE BOTTOM OF THE FIELD SHEET
  - 6.3 PRIME THE TARGET PIECE OF NR EPDM
  - 6.4 MATE THE TARGET TO THE TAPE
  - 6.5 APPLY BONDING ADHESIVE TO ADHERE FIELD AND TARGET MEMBRANE TO THE SUBSTRATE

**7 TYP. ROOF DRAIN - EPDM**  
6" = 1'-0"**3 HALF WALL DETAIL - PAINT REMOVAL**  
1 1/2" = 1'-0"**4 HALF WALL PHOTO - PAINT REMOVAL**  
1/2" = 1'-0"**1 HALF WALL DETAIL - STUCCO AND PAINT REMOVAL**  
1 1/2" = 1'-0"**2 HALF WALL PHOTO - STUCCO AND PAINT REMOVAL**  
1/2" = 1'-0"**NOTE:**

1. 6" (15cm) WIDE PRESSURE-SENSITIVE ELASTOFORM FLASHING, IN CONJUNCTION WITH EPDM PRIMER, MUST BE CENTERED OVER FIELD SPLICES AT THE ANGLE CHANGE.

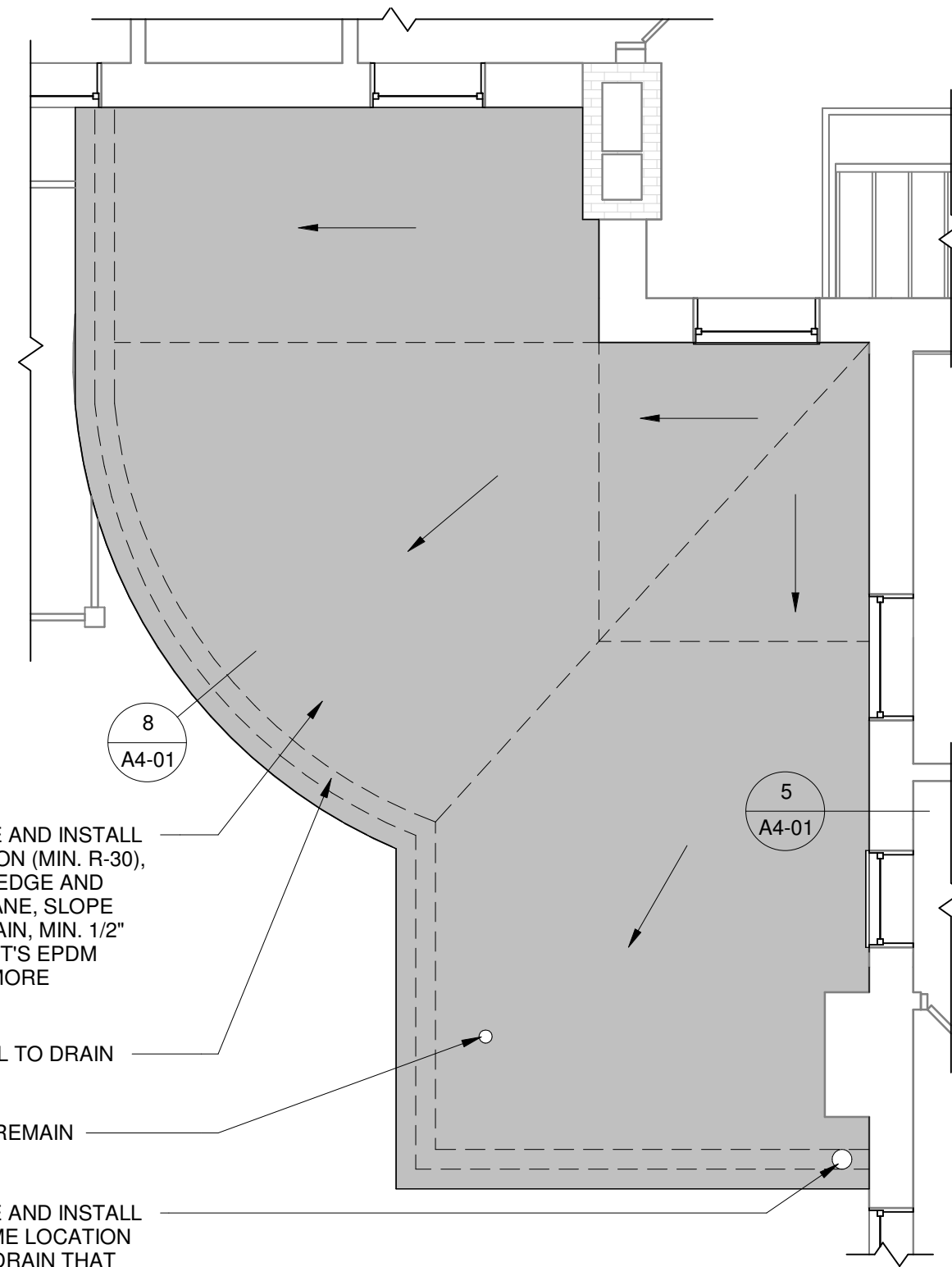
**8 ALTERNATE #3: EPDM ROOF FASCIA DETAIL**  
1 1/2" = 1'-0"

**ALTERNATE #3:** PROVIDE AND INSTALL NEW TAPERED INSULATION (MIN. R-30), ALUMINUM FASCIA/D RIP EDGE AND EPDM ROOFING MEMBRANE, SLOPE TOWARD NEW ROOF DRAIN, MIN. 1/2" PER 1'-0"; SEE THIS SHEET'S EPDM ROOFING DETAILS FOR MORE INFORMATION

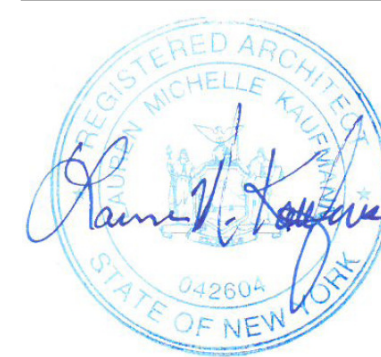
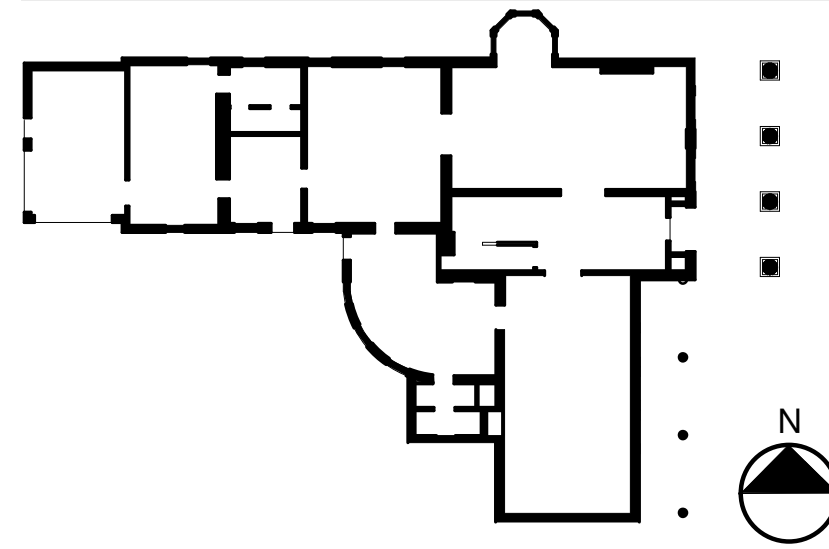
**ALTERNATE #3:** CHANNEL TO DRAIN TOWARD ROOF DRAIN

EXISTING VENT PIPE TO REMAIN

**ALTERNATE #3:** PROVIDE AND INSTALL NEW ROOF DRAIN IN SAME LOCATION AS THE EXISTING ROOF DRAIN THAT WAS REMOVED

**9 ALTERNATE # LIBRARY ROOF PLAN**  
1/4" = 1'-0"

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PHASE II EXTERIOR**

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**100% CONSTRUCTION DOCUMENT SET**

Revision Schedule		
Revision Number	Date	Description

DRAWING ISSUED: 10/1/2024

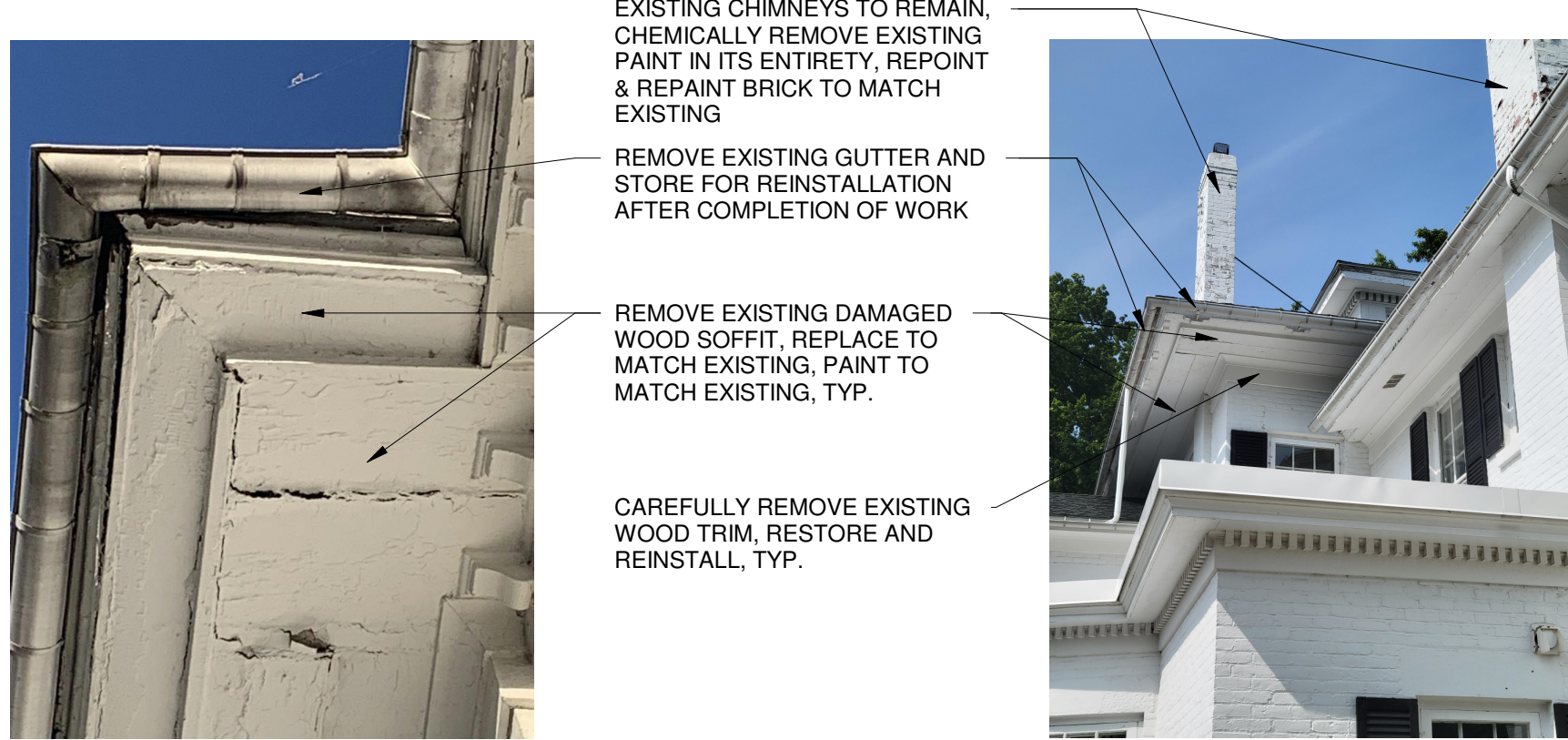
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Scale: As indicated

Drawn By: MNB  
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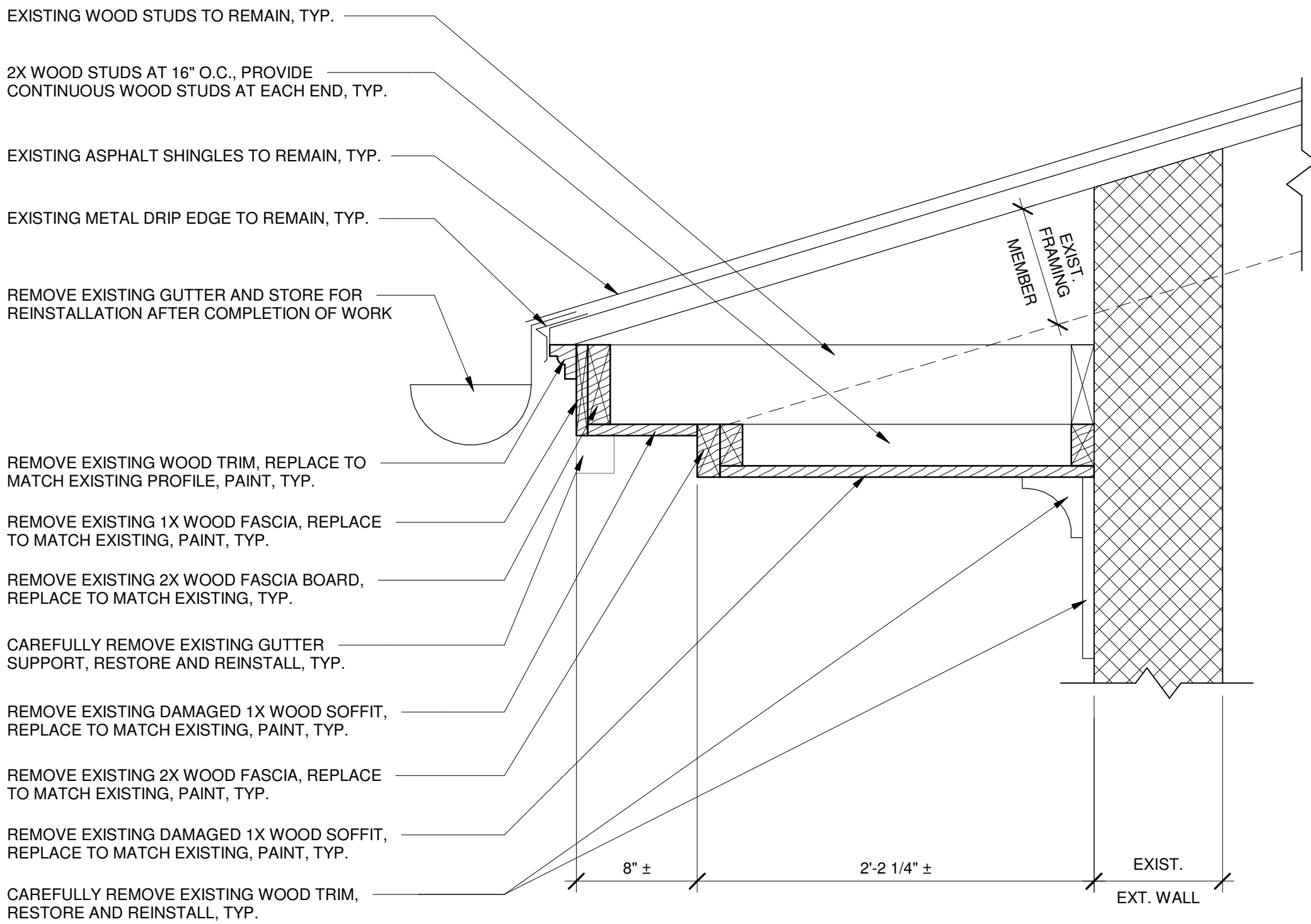
**Drawing Title  
HOUSE EXTERIOR DETAILS**

Drawing Number

**A4-01**



8 SOFFIT REPLACEMENT DETAIL  
1/2" = 1'-0"



NOTE: EXISTING SOFFIT CONSTRUCTION IS ASSUMED. ONCE WOOD SOFFIT IS REMOVED, NOTIFY ARCHITECT TO INSPECT EXISTING CONSTRUCTION.

9 SOFFIT REPLACEMENT DETAIL  
1 1/2" = 1'-0"



REMOVE EXIST. PAINT & REPAINT TO MATCH EXIST. REPAIR WOOD TRIM AS REQUIRED TO MATCH EXIST. TYP. FOR ALL (8) COLUMNS, SEE HM-SERIES DRAWINGS FOR MORE INFORMATION



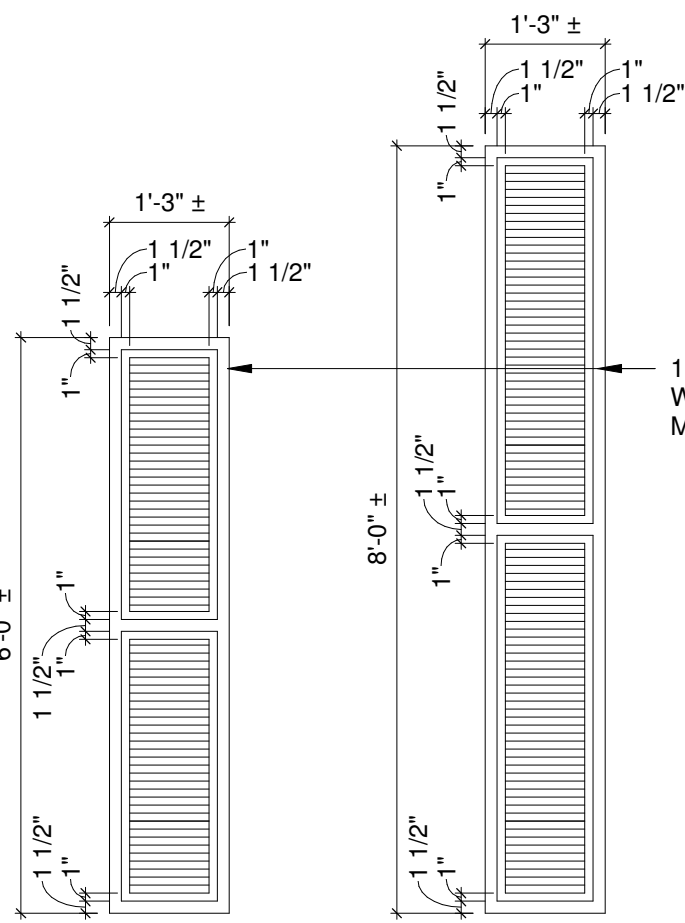
6 PORCH COLUMN DETAIL  
1/2" = 1'-0"



4 PAINT REMOVAL DETAIL  
1/2" = 1'-0"



3 PORCH CEILING B  
1/2" = 1'-0"



REPLACEMENT SHUTTER ELEVATIONS  
VERIFY DIMENSIONS IN FIELD TO MATCH EXISTING SHUTTERS

10 SHUTTER DETAIL  
1/2" = 1'-0"



REMOVE EXIST. PAINT & REPAINT TO MATCH EXIST. REPAIR WOOD TRIM AS REQUIRED TO MATCH EXIST. TYP. FOR ALL (8) COLUMNS, SEE HM-SERIES DRAWINGS FOR MORE INFORMATION

DUE TO THE LACK OF A PROPER FOUNDATION THE EXISTING BRICK CHEEKWALLS AT EITHER SIDE OF THE HOUSE ENTRANCE, BOTH NEED TO BE LEVELED AND REPOINTED



7 CHEEKWALL DETAIL  
1/2" = 1'-0"



2 PORCH CEILING A  
1/2" = 1'-0"

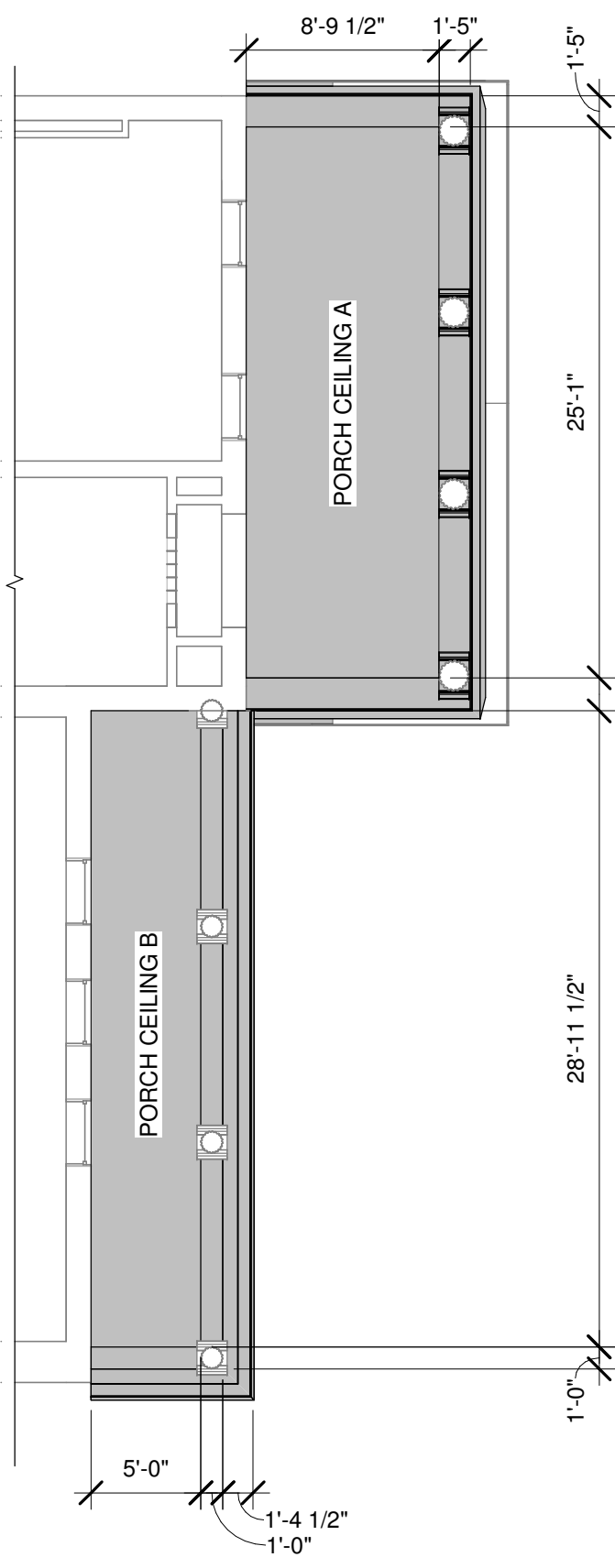
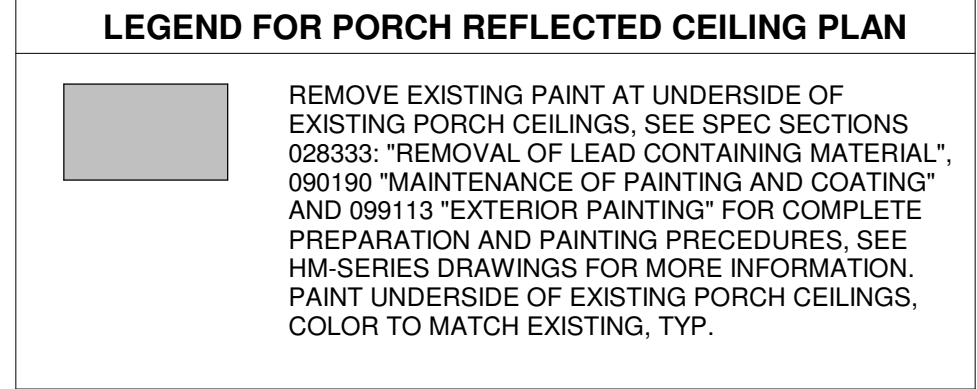


5 ENTRY PORTICO DETAIL  
1/2" = 1'-0"



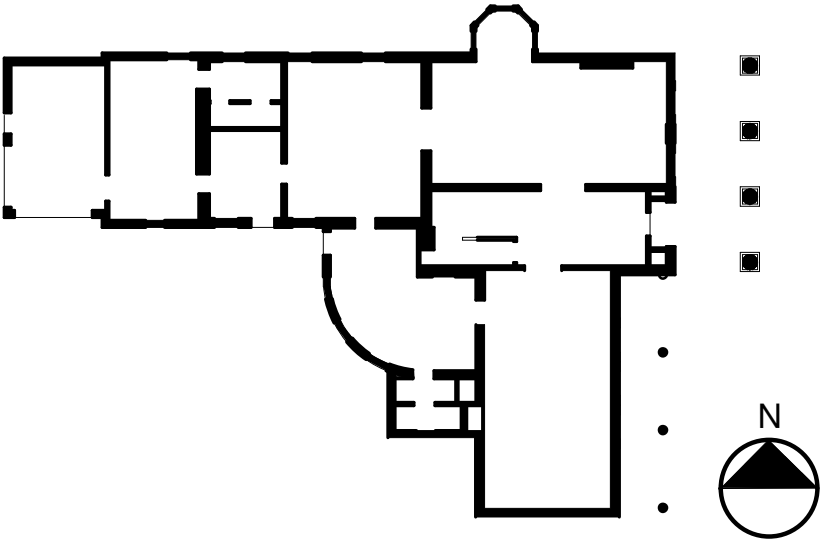
REMOVE EXIST. PAINT & REPAINT TO MATCH EXIST. REPAIR WOOD TRIM AS REQUIRED TO MATCH EXIST. SEE HM-SERIES DRAWINGS FOR MORE INFORMATION

EXIST. ENTRY DOOR, TRANSOM, & SIDELIGHTS TO REMAIN. CLEAN GLAZING. REMOVE PAINT FROM FRAME & TRIM. REPAINT TO MATCH EXIST. SEE HM-SERIES DRAWINGS FOR MORE INFORMATION



1 PORCH REFLECTED CEILING PLAN  
1/8" = 1'-0"

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DATE 10/01/2024

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## PROJECT NO. 051037 LANFORD REHAB PHASE II EXTERIOR

194 CENTRAL AVENUE  
FREDONIA, NEW YORK 14063

100% CONSTRUCTION DOCUMENT SET

Revision Schedule		
Revision Number	Date	Description

DRAWING ISSUED: 10/1/2024

Project Number:  
FBA PROJECT #00388.00

Scale:  
As indicated

Drawn By:  
MNB

Checked By:  
MM

Drawing Title  
HOUSE EXTERIOR DETAILS

Drawing Number

A4-02

**GENERAL NOTE:**

- DOOR, WINDOW & FRAME SIZES ARE TO BE VERIFIED IN FIELD. ANY CONDITIONS MAKING INSTALLATION OF REPLACEMENT DOORS/WINDOWS DIFFICULT AND/OR IMPOSSIBLE SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY.

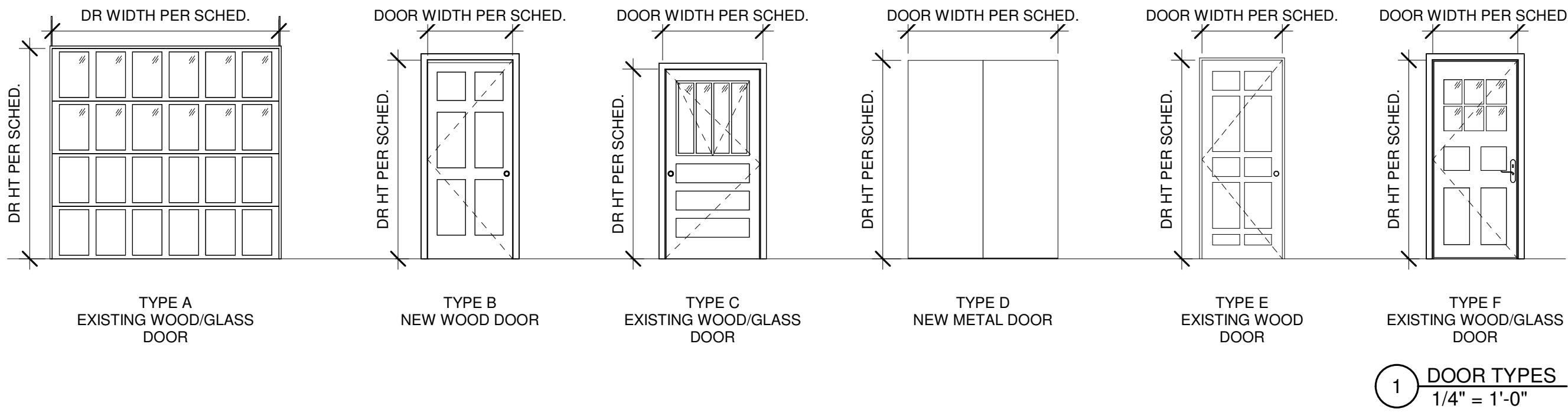
**SPECIFIC NOTES FOR GARAGE WINDOWS ONLY**

- CAREFULLY REMOVE PAINT AT EXIST. WOOD WINDOWS AND SHUTTERS IN THEIR ENTIRETY. SEE HM-SERIES DRAWINGS FOR MORE INFORMATION.
- PREP, PRIME AND PAINT WINDOW. PAINT EDGES OF WINDOW TRIM SAME COLOR AS FACE.
- REPLACE BROKEN WINDOW HARDWARE IN KIND. PREP, PRIME AND PAINT WINDOW. PAINT EDGES OF WINDOW TRIM SAME COLOR AS FACE.
- REPLACE WOOD STOPS AT EACH WINDOW TO MATCH EXISTING, PAINT TO MATCH EXISTING, TYP.

**SPECIFIC NOTES FOR HOUSE WINDOWS ONLY - ALTERNATE #4**

- CAREFULLY REMOVE PAINT AT EXIST. WINDOW FRAME AND TRIM THAT IS TO REMAIN IN ITS ENTIRETY. SEE HM-SERIES DRAWINGS FOR MORE INFORMATION.
- PREP, PRIME AND PAINT EXISTING WINDOW FRAMES AND TRIM TO MATCH EXISTING.

WINDOW SCHEDULE							
WINDOW NUMBER	LOCATION	DIMENSIONS-W (JAMB TO JAMB) X H (SILL TO HEADER)	MATERIAL	WINDOW TYPE	DIVIDED LIGHT CONFIGURATION	SILL	SILL HEIGHT
101	BUTLER'S PANTRY	3'-1/2" X 5'-11"±	ALUMINUM CLAD WOOD	DH	6 OVER 9	PLAM. COUNTER	31.25"±
102	KITCHEN	2'-3" X 3'-5"±	ALUMINUM CLAD WOOD	DH	6 OVER 6	PTD. WD.	39.75"±
104	FAMILY ROOM	(2'-9" X 3'-5"±)X2	ALUMINUM CLAD WOOD	DH	6 OVER 6	PTD. WD.	39.5"±
105	KITCHEN	2'-9 5/8" X 4'-11"±	ALUMINUM CLAD WOOD	DH	6 OVER 9	PTD. WD.	31.5"±
106	CORRIDOR	3'-1/2" X 5'-1/2"±	ALUMINUM CLAD WOOD	DH	6 OVER 9	PTD. WD.	30.5"±
107	DINING	2'-9 1/2" X 5'-1"±	ALUMINUM CLAD WOOD	DH	6 OVER 9	PTD. WD.	30.5"±
108	DINING	2'-9 1/2" X 5'-1"±	ALUMINUM CLAD WOOD	DH	9 OVER A/C	PTD. WD.	30.5"±
109	SITTING ROOM	2'-3" X 7'-2"±	ALUMINUM CLAD WOOD	DH	8 OVER 8	PTD. WD.	22.5"±
110	SITTING ROOM	2'-3 1/4" X 7'-2"±	ALUMINUM CLAD WOOD	DH	8 OVER 8	PTD. WD.	22.5"±
111	SITTING ROOM	2'-3 1/4" X 7'-2"±	ALUMINUM CLAD WOOD	DH	8 OVER 8	PTD. WD.	22.5"±
112	SITTING ROOM	2'-3 1/4" X 7'-2"±	ALUMINUM CLAD WOOD	DH	8 OVER 8	PTD. WD.	22.5"±
113	SITTING ROOM	2'-3" X 7'-2"±	ALUMINUM CLAD WOOD	DH	8 OVER 8	PTD. WD.	22.5"±
114	PARLOR	2'-9 1/2" X 8'-7"±	ALUMINUM CLAD WOOD	DH	9 OVER 15	--	--
115	PARLOR	2'-9 1/2" X 8'-7"±	ALUMINUM CLAD WOOD	DH	9 OVER 15	--	--
116	STATE ROOM	2'-9 1/2" X 8'-8"±	ALUMINUM CLAD WOOD	DH	9 OVER 15	--	--
117	STATE ROOM	2'-9 1/2" X 8'-8"±	ALUMINUM CLAD WOOD	DH	9 OVER 15	--	--
118	STATE ROOM	2'-9 1/2" X 8'-8"±	ALUMINUM CLAD WOOD	DH	9 OVER 15	--	--
119	STATE ROOM	2'-10" X 6'-2"±	ALUMINUM CLAD WOOD	DH	9 OVER 9	PTD. WD.	30.5"±
120	STATE ROOM	2'-10" X 6'-2"±	ALUMINUM CLAD WOOD	DH	9 OVER 9	PTD. WD.	30.5"±
121	BATHROOM	2'-2" X 3'-5"±	ALUMINUM CLAD WOOD	DH	6 OVER 6	PTD. WD.	45.5"±
122	LIBRARY	2'-7 1/2" X 6'-9 1/2"±	ALUMINUM CLAD WOOD	DH	9 OVER 12	PTD. WD.	14.5"±
123	LIBRARY	2'-7 1/2" X 6'-9 1/2"±	ALUMINUM CLAD WOOD	DH	9 OVER 12	PTD. WD.	14.5"±
124	LIBRARY	2'-7 1/2" X 6'-9 1/2"±	ALUMINUM CLAD WOOD	DH	9 OVER 12	PTD. WD.	14.5"±
125	DINING	2'-9 3/4" X 5'-1"±	ALUMINUM CLAD WOOD	DH	9 OVER 9	PTD. WD.	29"±
201	STAIR HALL	2'-10" X 6'-7"±	ALUMINUM CLAD WOOD	DH	9 OVER 9	PTD. WD.	28"±
202	VESTIBULE	2'-9" X 3'-7"±	ALUMINUM CLAD WOOD	DH	6 OVER 6	PTD. WD.	4"±
203	BATHROOM	2'-9" X 3'-5 1/2"±	ALUMINUM CLAD WOOD	DH	6 OVER 6	PTD. WD.	28.5"±
204	OFFICE	2'-9" X 3'-5"±	ALUMINUM CLAD WOOD	DH	6 OVER 6	PTD. WD.	28"±
205	STAIR HALL	NOT ACCESSIBLE	ALUMINUM CLAD WOOD	FIXED	4 LIGHTS/FIXED	PTD. WD.	NOT ACCESS.
206	LAUNDRY	2'-9" X 3'-5 1/2"±	ALUMINUM CLAD WOOD	DH	6 OVER 6	PTD. WD.	28"±
207	BEDROOM	2'-9" X 3'-5"±	ALUMINUM CLAD WOOD	DH	6 OVER 6	PTD. WD.	27"±
208	BEDROOM	2'-9" X 3'-5"±	ALUMINUM CLAD WOOD	DH	6 OVER 6	PTD. WD.	27"±
209	BEDROOM	2'-10" X 6'-6"±	ALUMINUM CLAD WOOD	DH	9 OVER 9	PTD. WD.	24"±
210	BEDROOM	2'-10" X 6'-6"±	ALUMINUM CLAD WOOD	DH	9 OVER 9	PTD. WD.	21"±
211	BEDROOM	2'-10" X 6'-6"±	ALUMINUM CLAD WOOD	DH	9 OVER 9	PTD. WD.	21"±
212	BATHROOM	2'-10" X 6'-6"±	ALUMINUM CLAD WOOD	DH	9 OVER 9	PTD. WD.	22"±
213	HALLWAY	2'-10" X 6'-6"±	ALUMINUM CLAD WOOD	DH	9 OVER 9	PTD. WD.	14"±
214	BEDROOM	2'-10" X 6'-6"±	ALUMINUM CLAD WOOD	DH	9 OVER 9	PTD. WD.	12"±
215	BEDROOM	2'-10" X 6'-6"±	ALUMINUM CLAD WOOD	DH	9 OVER 9	PTD. WD.	13"±
216	BEDROOM	2'-10" X 6'-6"±	ALUMINUM CLAD WOOD	DH	9 OVER 9	PTD. WD.	13.5"±
217	BATHROOM	2'-2 1/2" X 3'-5 1/2"±	ALUMINUM CLAD WOOD	DH	6 OVER 6	PTD. WD.	51"±
218	BEDROOM	2'-10" X 6'-6"±	ALUMINUM CLAD WOOD	DH	9 OVER 9	PTD. WD.	14"±
401	CUPOLA	5'-3.5" X 1'-10"±	ALUMINUM CLAD WOOD	FIXED	6 LIGHTS/FIXED	--	13.5"±
402	CUPOLA	5'-3.5" X 1'-10"±	ALUMINUM CLAD WOOD	FIXED	6 LIGHTS/FIXED	--	13.5"±
403	CUPOLA	1'-6" X 1'-8.5"±	EXISTING	LOUVER	--	--	12"±
404	CUPOLA	1'-6" X 1'-8.5"±	EXISTING	LOUVER	--	--	12"±
405	CUPOLA	5'-3.5" X 1'-10"±	ALUMINUM CLAD WOOD	FIXED	6 LIGHTS/FIXED	--	13.5"±
406	CUPOLA	5'-3.5" X 1'-10"±	ALUMINUM CLAD WOOD	FIXED	6 LIGHTS/FIXED	--	13.5"±
407	CUPOLA	3'-1.5" X 1'-10"±	ALUMINUM CLAD WOOD	FIXED	4 LIGHTS/FIXED	--	12.5"±
408	CUPOLA	3'-1.5" X 1'-10"±	ALUMINUM CLAD WOOD	FIXED	4 LIGHTS/FIXED	--	12.5"±
G01	GARAGE	2'-4.5" X 5'-0"±	EXISTING WOOD	SH	2 OVER 2	--	36"±
G02	GARAGE	2'-4.5" X 5'-0"±	EXISTING WOOD	SH	2 OVER 2	--	36"±
G03	GARAGE	2'-4.5" X 5'-0"±	EXISTING WOOD	SH	2 OVER 2	--	36"±
G04	GARAGE	2'-4.5" X 5'-0"±	EXISTING WOOD	SH	2 OVER 2	--	36"±
G05	GARAGE	3'-3.5" X 3'-0.5"±	EXISTING WOOD	FIXED	FIXED	--	60"±
G06	GARAGE	2'-4.5" X 5'-0"±	EXISTING WOOD	SH	2 OVER 2	--	36"±
G07	GARAGE	2'-4.5" X 5'-0"±	EXISTING WOOD	SH	2 OVER 2	--	6.5"±
G08	GARAGE	2'-4.5" X 5'-0"±	EXISTING WOOD	SH	2 OVER 2	--	6.5"±
G09	GARAGE	2'-5.5" X 2'-8.5"±	EXISTING WOOD	FIXED	FIXED	--	14.5"±
G10	GARAGE	24"± DIAMETER	EXISTING WOOD	FIXED	2 BY 2 ROUND	--	78"±



ELECTRICAL SYMBOL LIST

GENERAL	
	EXISTING WIRING OR EQUIPMENT (LIGHT SOLID).
	NEW WIRING OR EQUIPMENT (HEAVY SOLID).
	EXISTING WIRING OR EQUIPMENT TO BE REMOVED (DASHED).
	DEMOLITION KEYED DRAWING NOTE.
	NEW CONSTRUCTION KEYED DRAWING NOTE.
	AREA LIMIT LINE.
	DETAIL CALL OUT. "H" INDICATES DETAIL NUMBER WITHIN IDENTIFIED SHEET, "Y" INDICATES SHEET NUMBER.

BRANCH WIRING	
	BRANCH CIRCUIT TO PANELBOARD. WHEN SHOWN, LETTERING INDICATES PANELBOARD DESIGNATIONS. QUANTITY OF ARROWHEADS INDICATE QUANTITY OF BRANCH CIRCUITS. PROTECT EACH BRANCH CIRCUIT WITH A 20 AMPERE, 1-POLE OVERCURRENT DEVICE UNLESS OTHER SIZE INDICATED. TYPICAL DESIGNATION, (2#12,1#12G-3/4"C,20A-1P.)
	RACEWAY OR CABLES IN WALLS, ABOVE CEILINGS, WITH CONDUCTORS AS NOTED.
	ON BRANCH CIRCUITRY WHERE ONLY THE CIRCUIT NUMBER IS SHOWN, CIRCUIT DEVICE/FIXTURE WITH THE SAME NUMBER TO THE CIRCUIT INDICATED WITH A HOMERUN TO EACH NUMBERED GROUP. CONNECT TO A 20A-1P CIRCUIT BREAKER, OR AS NOTED.
	RACEWAY ROUTED UP, SOME NOT SHOWN.
	RACEWAY ROUTED DOWN, SOME NOT SHOWN.
	SURFACE MOUNTED RACEWAY.
	CABLE TRAY.
	GROUNDING ELECTRODE CONDUCTOR.
	JUNCTION BOX, SIZED PER NEC OR AS INDICATED.

LIGHTING	
	LIGHTING FIXTURE. UPPER CASE LETTER INDICATES FIXTURE TYPE AS DESCRIBED IN LIGHTING FIXTURE SCHEDULE. LOWER CASE LETTER(S) INDICATE SWITCHING. NUMBER INDICATES CIRCUIT NUMBER OF POWER SOURCE. HATCHING INDICATES AN EMERGENCY POWERED LIGHT FIXTURE.
	EXTERIOR WALL MOUNTED LIGHTING FIXTURE. UPPER CASE LETTER INDICATES FIXTURE TYPE AS DESCRIBED IN LIGHTING FIXTURE SCHEDULE. LOWER CASE LETTER(S) INDICATE SWITCHING. NUMBER INDICATES CIRCUIT NUMBER OF POWER SOURCE. HATCHING INDICATES AN EMERGENCY POWERED LIGHT FIXTURE.
	EXTERIOR POLE MOUNTED LIGHT FIXTURE. UPPER CASE LETTER INDICATES FIXTURE TYPE AS DESCRIBED IN LIGHTING FIXTURE SCHEDULE. LOWER CASE LETTER(S) INDICATE SWITCHING. NUMBER INDICATES CIRCUIT NUMBER OF POWER SOURCE. HATCHING INDICATES AN EMERGENCY POWERED LIGHT FIXTURE.
	EMERGENCY LIGHTING UNIT. REFER TO LIGHTING FIXTURE SCHEDULE FOR ADDITIONAL INFORMATION.
	EXIT SIGN, WALL MOUNTED. ARROW(S) INDICATE DIRECTIONAL CHEVRONS. REFER TO LIGHTING FIXTURE SCHEDULE FOR ADDITIONAL INFORMATION.
	EXIT SIGN, CEILING MOUNTED.
	PHOTOCELL.
	LIGHTING CONTACTOR.

NOTE: ABBREVIATIONS AND SYMBOLS ON THIS DRAWING ARE FOR REFERENCE ONLY, AND MAY NOT BE USED IN THE FOLLOWING DOCUMENTS.

DISTRIBUTION AND MOTOR EQUIPMENT

	BRANCH CIRCUIT PANELBOARD. REFER TO PANEL BOARD SCHEDULE.
	EXISTING BRANCH CIRCUIT PANELBOARD. REFER TO PANEL BOARD SCHEDULE.
	ELECTRICAL MOTOR.
	DISCONNECT SWITCH, 3R INDICATES WEATHERPROOF (NEMA 3R).  30 —INDICATES SWITCH AMPERE RATING. 20 —INDICATES FUSE SIZE, "—" INDICATES NON FUSED.
	MAGNETIC MOTOR STARTER. VOLTAGE AMPERE RATING AND NEMA SIZE TO MATCH MOTOR SERVED. OVERCURRENT RATING IF INDICATED. NEMA 1 UNLESS OTHERWISE NOTED.
	COMBINATION MAGNETIC MOTOR STARTER WITH INTEGRAL DISCONNECT. 3R INDICATES WEATHER PROOF (NEMA 3R).  30 —INDICATES OVERCURRENT RATING. 00 —INDICATES STARTER NEMA SIZE.
	VARIABLE FREQUENCY DRIVE.
	EMERGENCY POWER OFF STATION.
	MOTOR SWITCH. "MT" INDICATES WITH THERMAL OVERLOADS. "M" INDICATES WITHOUT THERMAL OVERLOADS.
	PUSH BUTTON STATION.
	ELECTRICAL CONNECTION. CONTRACTOR SHALL PROVIDE A COMPLETE CONNECTION INCLUDING ALL REQUIRED FITTINGS AND ACCESSORIES. ELECTRICAL CONNECTION IDENTIFICATION TAG ASSOCIATED WITH ELECTRICAL CONNECTION SYMBOL. REFER TO ASSOCIATED ITEM NUMBER WITHIN THE EQUIPMENT CONNECTION SCHEDULE FOR ADDITIONAL INFORMATION REGARDING ELECTRICAL CONNECTION. COORDINATE REQUIREMENTS WITH OTHER TRADES. EQUIPMENT IDENTIFICATION TAG ASSOCIATED WITH ELECTRICAL CONNECTION SYMBOL. REFER TO EQUIPMENT CONNECTION SCHEDULE.

DEVICES

	DUPLEX RECEPTACLE - UPPER CASE LETTERS INDICATE TYPE AS FOLLOWS: IG - ISOLATED GROUND      AF - ARC FAULT INTERRUPTER TR - TAMPER RESISTANT      SM - SURFACE MOUNTED OC - ABOVE COUNTER      WP - WEATHER PROOF BOX TVSS - TRANSIENT VOLTAGE SURGE SUPPRESSION
	DUPLEX RECEPTACLE, GFCI TYPE.
	SINGLE RECEPTACLE.
	QUAD RECEPTACLE.
	DUPLEX RECEPTACLE, USB TYPE.
	SWITCHED DUPLEX RECEPTACLE.

ASBESTOS AWARENESS NOTE:

A PRE-RENOVATION ASBESTOS SURVEY HAS BEEN PERFORMED AND A REPORT IS AVAILABLE FOR REVIEW. ALL CONTRACTORS SHALL BE AWARE THAT ASBESTOS-CONTAINING MATERIALS (ACM) HAVE BEEN IDENTIFIED.

THE LIST IN THE REPORT IS NOT COMPREHENSIVE OF ALL ACM WITHIN THE BUILDING. ALL CONTRACTORS ARE RESPONSIBLE FOR MAKING THEMSELVES AND THEIR EMPLOYEES AWARE OF THE PRESENCE, LOCATION, AND QUANTITY OF EXISTING ASBESTOS-CONTAINING BUILDING MATERIALS, AND TO WARN THEIR EMPLOYEES OF THE POTENTIAL DANGERS OF EXPOSURE TO ASBESTOS.

ANY DISTURBANCE OF ASBESTOS-CONTAINING MATERIALS SHALL BE PERFORMED AS AN ASBESTOS ABATEMENT PROJECT UTILIZING A LICENSED ASBESTOS ABATEMENT CONTRACTOR EMPLOYING CERTIFIED WORKERS IN ACCORDANCE WITH NYS CODE RULE 56.

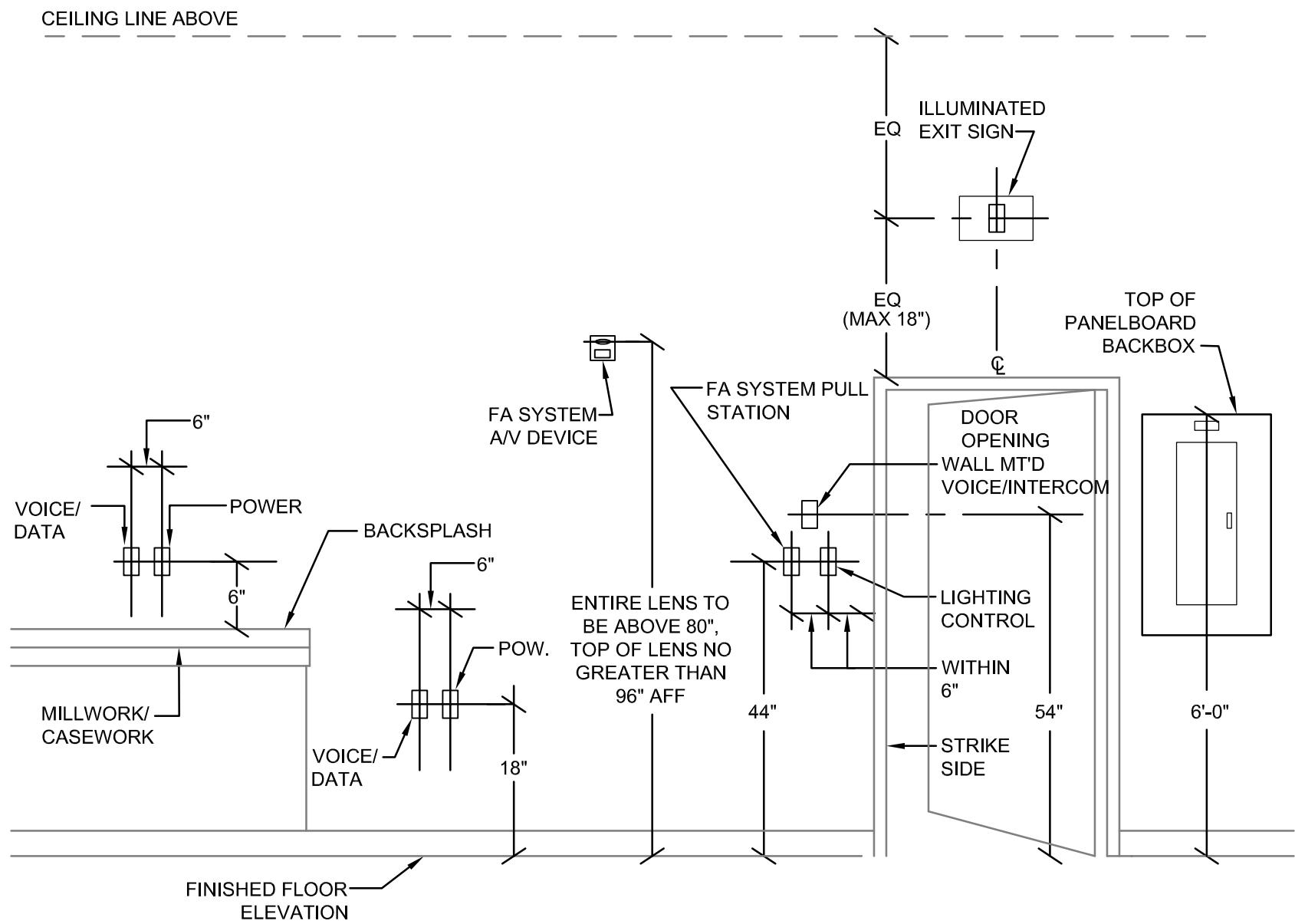
ANY QUESTIONABLE MATERIAL OR MATERIAL SUSPECTED TO CONTAIN ASBESTOS SHALL NOT BE DISTURBED AND SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER OR THE OWNER'S REPRESENTATIVE FOR AN ACCURATE INTERPRETATION AND/OR SAMPLING AND ANALYSIS.

ELECTRICAL GENERAL NOTES LIST

- TAKE FIELD MEASUREMENTS AS REQUIRED AND BE RESPONSIBLE FOR FITTING NEW CONSTRUCTION TO EXISTING CONSTRUCTION. REPAIR ANY EXISTING CONDITIONS DISTURBED OR DAMAGED DURING CONSTRUCTION (TO MATCH EXISTING).
- PERFORM SITE INVESTIGATION PRIOR TO START OF WORK TO REVEAL EXISTING CONDITIONS.
- EXAMINE ALL DRAWINGS AND SPECIFICATIONS AND COORDINATE WORK WITH ALL OTHER CONTRACTORS.
- CONTRACTOR SHALL PROVIDE ALL CUTTING, PATCHING AND REPAIRING OF MATERIALS AND FINISHES DISTURBED BY THEIR TRADES.
- FIELD VERIFY ALL EXISTING CONDITIONS BEFORE STARTING DEMOLITION AND INSTALLATION.
- COORDINATE WITH THE MECHANICAL CONTRACTOR FOR POWER CONNECTIONS TO ALL MECHANICAL EQUIPMENT.

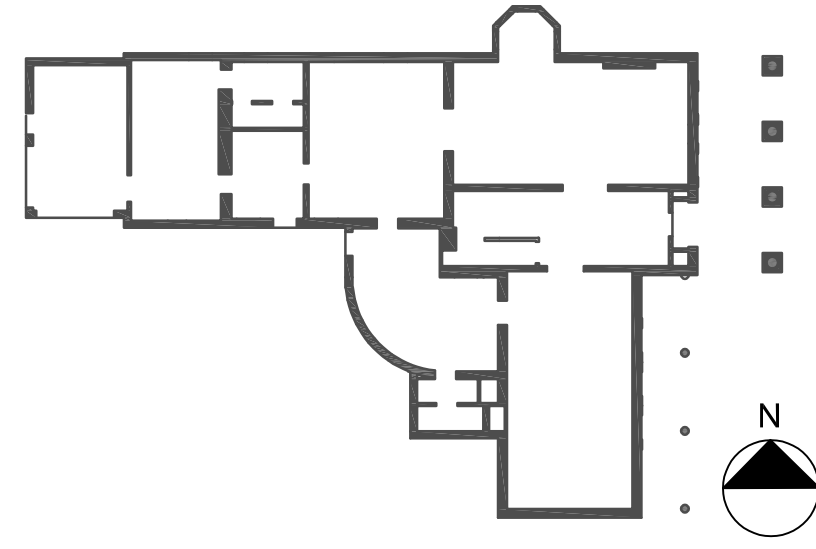
ELECTRICAL ABBREVIATIONS LIST

A	AMPERAGE OR AMPS	NEMA	NATIONAL ELECTRICAL MANUFACTURERS ASSOCIATION
AF	ABOVE FINISHED FLOOR	NIC	NOT IN CONTRACT
AFG	ABOVE FINISHED GRADE	NL	NIGHT LIGHT
ARA	AREA OF RESCUE ASSISTANCE	OC	OVER THE COUNTER
BMS	BUILDING MANAGEMENT SYSTEM	PA	PUBLIC ADDRESS
C	CONDUIT	PBB	PRIMARY BUS BAR
CCTV	CLOSED CIRCUIT TELEVISION	PDU	POWER DISTRIBUTION UNIT
cd	CANDELA	PC	POLYCARBONATE GUARD
CM	CEILING MOUNTED	PTZ	PAN, TILT, ZOOM
CKT	CIRCUIT	PVC	POLYVINYL CHLORIDE
CT	CURRENT TRANSFORMER	REC	RECESSED
DISC	DISCONNECT	SBB	SECONDARY BUS BAR
EC	ELECTRICAL CONTRACTOR	SCH	SCHEDULE
EMT	ELECTRICAL METALLIC TUBING	SM	SURFACE MOUNTED
ETR	EXISTING TO REMAIN	SPD	SURGE PROTECTIVE DEVICE
EWC	ELECTRIC WATER COOLER	SQ	SQUARE
FBO	FURNISHED BY OTHERS	SWBD	SWITCHBOARD
FMC	FLEXIBLE METAL CONDUIT	TBB	TELECOMMUNICATION BONDING BACKBONE
FT	FEET	TBC	TELECOMMUNICATION BONDING CONDUCTOR
GFCI	GROUND FAULT CIRCUIT INTERRUPTER	TSP	TWISTED SHIELDED PAIR
GND	GROUND	TVSS	TRANSIENT VOLTAGE SURGE SUPPRESSION
GRC	GALVANIZED RIGID CONDUIT	Tx/Rx	TRANSMITTER/RECEIVER
HDMI	HIGH-DEFINITION MULTIMEDIA INTERFACE	UC	UNDER COUNTER
IG	ISOLATED GROUND	UF	UNDERFLOOR
IN	INCHES	UG	UNDERGROUND
KW	KILOWATTS	UTP	UNSHIELDED TWISTED PAIR
LFMC	LIQUID TIGHT FLEXIBLE METAL CONDUIT	V	VOLTAGE OR VOLTS
MAX	MAXIMUM	VAC	VOLTAGE ALTERNATING CURRENT
MCB	MAIN CIRCUIT BREAKER	VDC	VOLTAGE DIRECT CURRENT
MDP	MAIN DISTRIBUTION PANEL	VFD	VARIABLE FREQUENCY DRIVE
MIN	MINIMUM	W	WATTAGE OR WATTS
MLO	MAIN LUG ONLY	WG	WIRE GUARD
MTD	MOUNTED	WP	WATERPROOF OR WEATHERPROOF
NEC	NATIONAL ELECTRICAL CODE	XFMR	TRANSFORMER



1 TYPICAL ROUGH-IN HEIGHTS FOR ELECTRIC WORK

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PROJECT NO. 051037  
LANFORD REHAB  
PHASE II EXTERIOR  
194 CENTRAL AVENUE  
FREDONIA, NEW YORK 14063

100% CONSTRUCTION DOCUMENT SET

Revision Schedule		
Revision Number	Date	Description

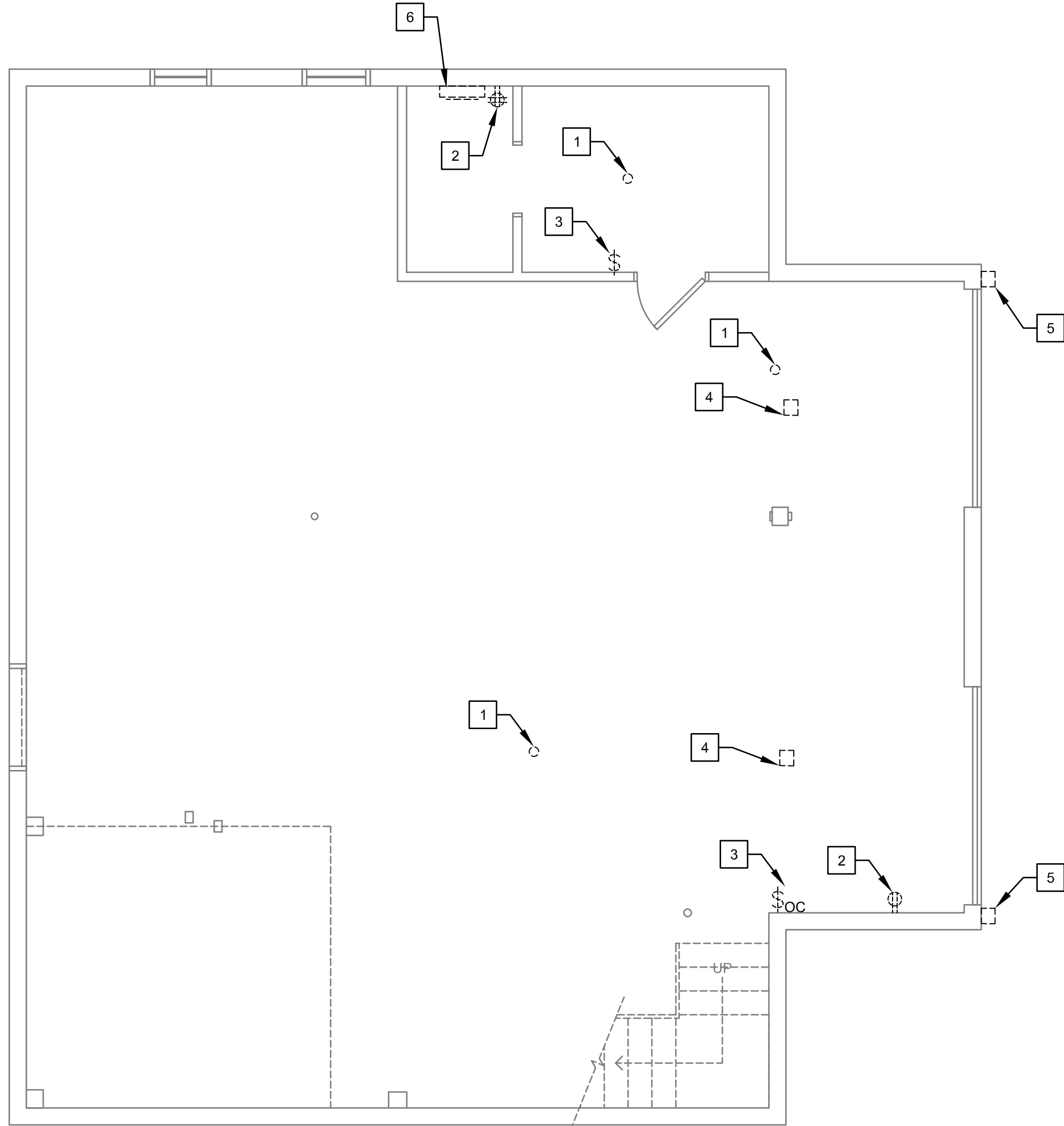
DRAWING ISSUED: 10/01/2024	
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Drawn By: RRS	Checked By: RCP

Drawing Title  
ELECTRICAL SYMBOLS,  
NOTES AND ABBREVIATIONS

Drawing Number  
E-000

GENERAL NOTES:

- A. COORDINATE ALL WORK WITH OTHER TRADES PRIOR TO INSTALLATION.
- B. USE OF ROMEX CABLE SHALL BE PERMITTED INDOORS.
- C. PREMISES CONTAINS KNOB AND TUBE WIRING, DISCONNECT AND REMOVE. REPLACE WITH SPECIFIED NM CABLE.

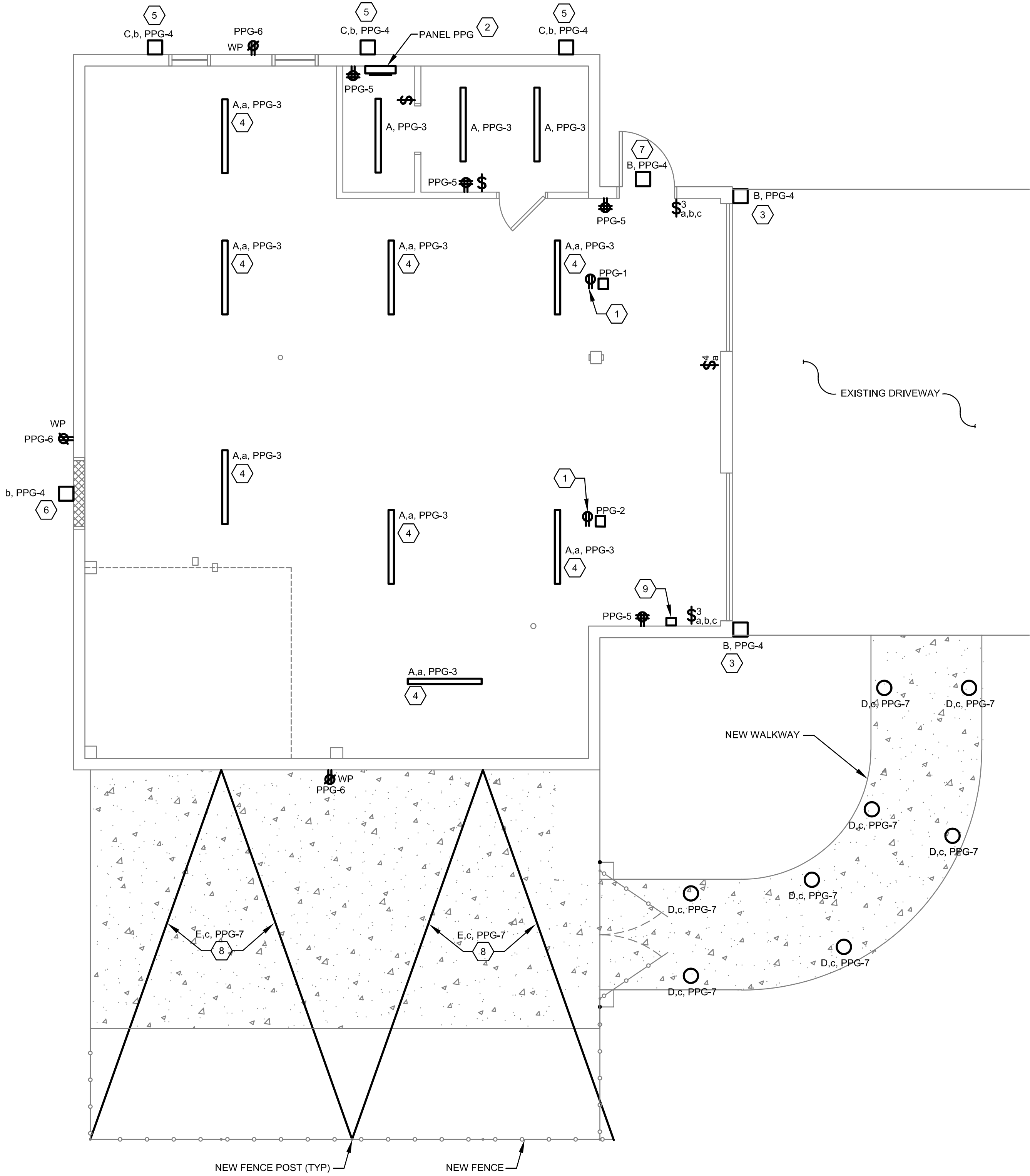


1 ELECTRICAL GARAGE DEMOLITION PLAN  
SCALE: 1/4" = 1'-0"

GENERAL DEMOLITION NOTE:  
DISCONNECT AND REMOVE ALL EXISTING ELECTRICAL DEVICES, LIGHT FIXTURES, WIRING ETC. IN THEIR ENTIRETY. SOME EXISTING DEVICES MAY NOT BE SHOWN.

KEYED DEMOLITION NOTES: #

- DISCONNECT AND REMOVE EXISTING PORCELAIN LAMPHOLDER. REMOVE ALL CONDUIT AND CABLE BACK TO SOURCE.
- DISCONNECT AND REMOVE EXISTING RECEPTACLE AND WIRING. REMOVE ALL CONDUIT AND CABLE BACK TO SOURCE.
- DISCONNECT AND REMOVE EXISTING LIGHT SWITCH AND WIRING. REMOVE ALL CONDUIT AND CABLE BACK TO SOURCE.
- DISCONNECT AND REMOVE EXISTING GARAGE DOOR OPENER, ALL ASSOCIATED DEVICES, CONTROLS AND WIRING. REMOVE ALL CONDUIT AND CABLE BACK TO SOURCE.
- DISCONNECT AND REMOVE EXISTING LIGHT FIXTURE AND WIRING. REMOVE ALL CONDUIT AND CABLE BACK TO SOURCE.
- DISCONNECT AND REMOVE EXISTING LOAD CENTER. REMOVE ALL WIRING BACK TO SOURCE. EXISTING CONDUIT FROM BASEMENT MAY BE REUSED.

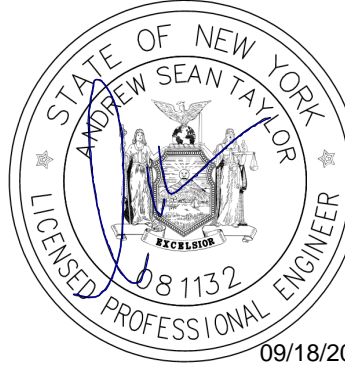
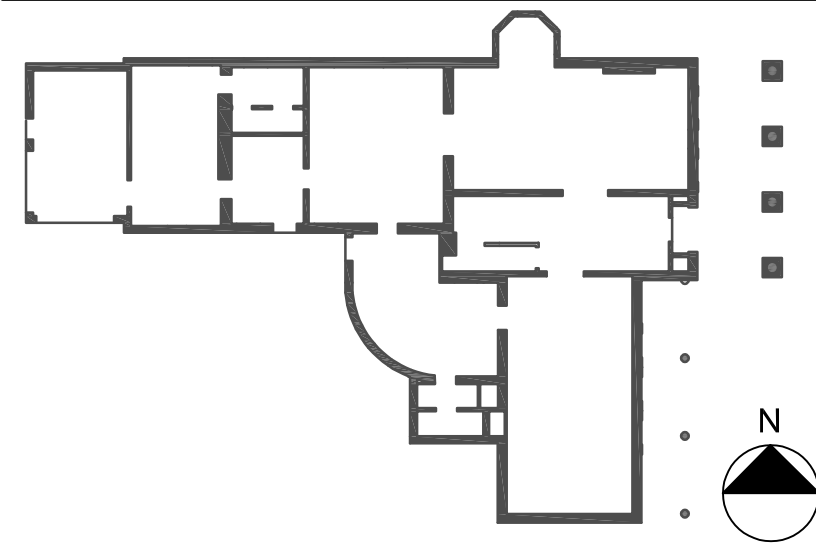


1 ELECTRICAL GARAGE PLAN  
SCALE: 1/4" = 1'-0"

KEYED INSTALLATION NOTES: #

- PROVIDE RECEPTACLE FOR GARAGE DOOR OPENER. COORDINATE FINAL LOCATION WITH GARAGE DOOR SUPPLIER PRIOR TO INSTALLATION. PROVIDE INDIVIDUAL DOOR CONTROLLERS FOR EACH DOOR AT GARAGE, HOUSE AND 2 OWNER CARS.
- PROVIDE 40A, 2-POLE CIRCUIT BREAKER IN EXISTING PANEL "SUB A" IN BASEMENT OF HOUSE. PROVIDE (3) #6 AWG AND (1) #10 GND IN 3/4" C FROM PANEL "SUB-A" TO NEW PANEL "PPG". EXISTING UNDERGROUND CONDUIT MAY BE RE-USED IF SUITABLE FOR USE.
- MOUNT FIXTURE IN PLACE OF EXISTING LIGHT FIXTURE.
- MOUNT FIXTURE TO UNDERSIDE OF JOIST.
- MOUNT FIXTURE AT 14'-0" AFG.
- PROVIDE POWER TO EXISTING LIGHT FIXTURE.
- MOUNT FIXTURE 12" ABOVE DOOR.
- TYPE "E" STRING LIGHT. HANG LIGHTS BETWEEN GARAGE AND FENCE POSTS. SEE LIGHT FIXTURE SCHEDULE AND DETAILS 3 AND 4, DRAWING E-700, FOR ADDITIONAL INFORMATION.
- PROVIDE 12 VDC POWER TRANSFORMER FOR TYPE "D" LIGHT FIXTURES. MOUNT TRANSFORMER APPROX. 42" A.F.F.

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PROJECT NO. 051037

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Revision Schedule		
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ELECTRICAL GARAGE PLAN

Drawing Number

E-100

PANEL PPG											
VOLTAGE: 120/240		MAINS RATING: 60			A.I.C. RATING: 10,000			LOCATION: GARAGE			
PHASE: 1		M.C.B.: X			BKR SPACE: 20			POWER SOURCE: PANEL "SUB-A"			
WIRE: 3		M.L.O.:			MOUNTING: SURFACE			FEEDER CIRCUIT: 3#6 AND #10 GND			
NO.	USE, LOCATION	AMPS			BKR	BKR	AMPS		USE, LOCATION	NO.	
		A	B	A			B				
1	GARAGE DOOR #1	0.0		20/1	20/1	0.0		GARAGE DOOR #2	2		
3	GARAGE INTERIOR LIGHTING		0.0	20/1	20/1		0.0	GARAGE EXTERIOR LIGHTING	4		
5	GARAGE INTERIOR RECEPTACLES	0.0		20/1	20/1	0.0		GARAGE EXTERIOR RECEPTACLES	6		
7	GARAGE SOUTH EXTERIOR LIGHTING		0.0	20/1	20/1		0.0	SPARE	8		
9	SPARE	0.0		20/1	20/1	0		SPARE	10		
11	SPARE		0.0	20/1	20/1		0	SPARE	12		
13	SPACE	0				0.0		SPACE	14		
15	SPACE		0				0.0	SPACE	16		
17	SPACE	0.0				0.0		SPACE	18		
19	SPACE		0.0				0.0	SPACE	20		

1

PANEL PPG SCHEDULE

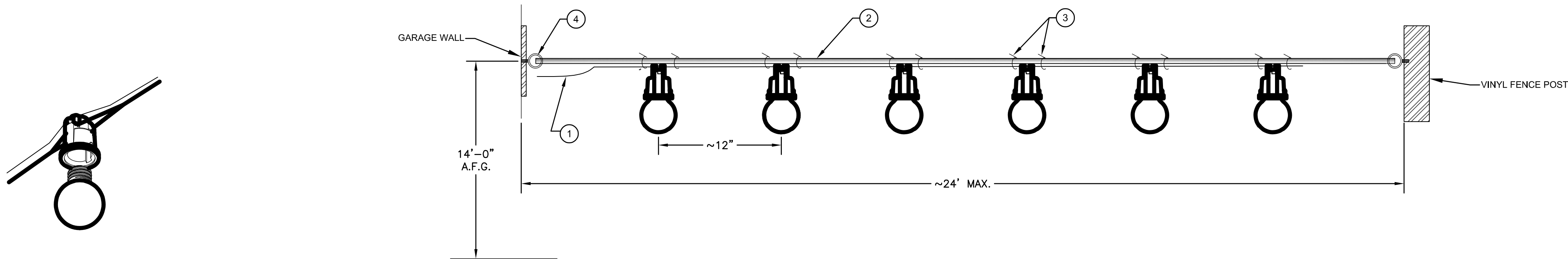
N.T.S.

LIGHTING FIXTURE SCHEDULE										
TYPE	DESCRIPTION	LENS	VOLTAGE	DRIVER	LAMPS	FIXTURE WATTAGE	BASIS OF DESIGN	EQUIVALENT MANUFACTURERS	COMMENTS	
A	4'-0" WHITE LED SHOP LIGHT STEEL FRAME AND JUNCTION BOX. ENERGY STAR QUALIFIED.	LED	120V	LED	LED 4000K 3200 LUMENS	36	COMMERCIAL ELECTRIC, CATALOG NUMBER 54103161	OR APPROVED EQUIVALENT PER ENGINEER AND ARCHITECT		
B	GARAGE WALL SCONCE - TEXTURED BLACK FINISH - DUSK TO DAWN OPERATION	GLASS	120V	INCANDESCENT	E26 3000K 1000 LUMENS	60	WESTINGHOUSE LIGHTING, CATALOG NUMBER 62045	OR APPROVED EQUIVALENT PER ENGINEER AND ARCHITECT	PROVIDE LED LAMP	
C	GARAGE BARN LIGHT - MATTE BLACK FINISH	METALLIC	120V	INCANDESCENT	A19 3000K 1200 LUMENS	75	GENERATION LIGHTING, CATALOG NUMBER 8737401-12	OR APPROVED EQUIVALENT PER ENGINEER AND ARCHITECT	PROVIDE LED LAMP	
D	RECESSED GROUND MOUNT LED FIXTURE - THERMOPLASTIC HOUSING, ALUMINUM TRIM - BRONZE COLOR - IP65 RATED	ACRYLIC	12 VDC	LED	LED 3000K	8	COOPER LUMIERE BOCA 650 SERIES, CATALOG NUMBER 650-1-8LED3010-12-BZ	OR APPROVED EQUIVALENT PER ENGINEER AND ARCHITECT	PROVIDE MANUFACTURER APPROVED 12 VDC POWER SUPPLY TRANSFORMER	
E	120V EXTERIOR LED LIGHT STRING, MOUNTED LAMP-DOWN, NO-DROP TO 0.0625" DIA. GAL. STL. AIR CRAFT CABLE, WARM WHITE G45 FILAMENT LED LAMP, BLACK MEDIUM BASE SOCKET, ATTACH WITH CABLE TIES. DECORATIVE STRING LIGHTING LED LAMPS INCLUDED. WET LOCATION LISTED.	POLY CARBONATE LED LAMP	120V	INCANDESCENT	LED WARM WHITE, 39.8 LUMENS	1W PER LAMP	TMB ARCHITECTURAL MODEL FIREFESV1224VE2 - 12" SPACING	OR APPROVED EQUIVALENT PER ENGINEER AND ARCHITECT	PROVIDE LED LAMP	

2

LIGHT FIXTURE SCHEDULE

N.T.S.



DETAIL NOTES:  
1. LAMP-DOWN APPLICATION ONLY.  
2. MUST BE INSTALLED W/ AIRCRAFT CABLE AND REPLACEABLE  
120V MEDIUM BASE LED LAMPS, ALSO, INCLUDED W/ STRING.

DETAIL NOTES:  
1. HARD WIRE INSIDE ELECTRICAL BOX USING OUTDOOR-RATED CONNECTORS.  
2. ENSURE AIRCRAFT CABLE IS TAUT AND SECURED.  
3. USE (2) CABLE TIES PER SOCKET, ONE ON EACH SIDE.  
4. USE SURFACE MOUNTING PLATE AND EYEHOOK FOR ATTACHMENT TO EXTERIOR  
BUILDING SURFACES AND WOOD FENCE POSTS.  
5. CONTRACTOR TO VERIFY SPAN DISTANCE AND STRING QUANTITIES IN FIELD.

3

TYPICAL TYPE "E" LIGHT STRING ASSEMBLY DETAIL

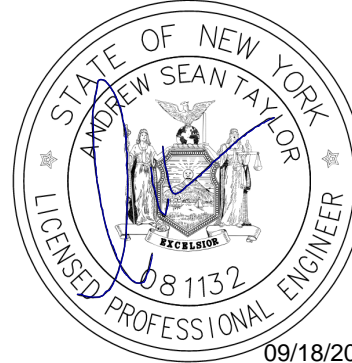
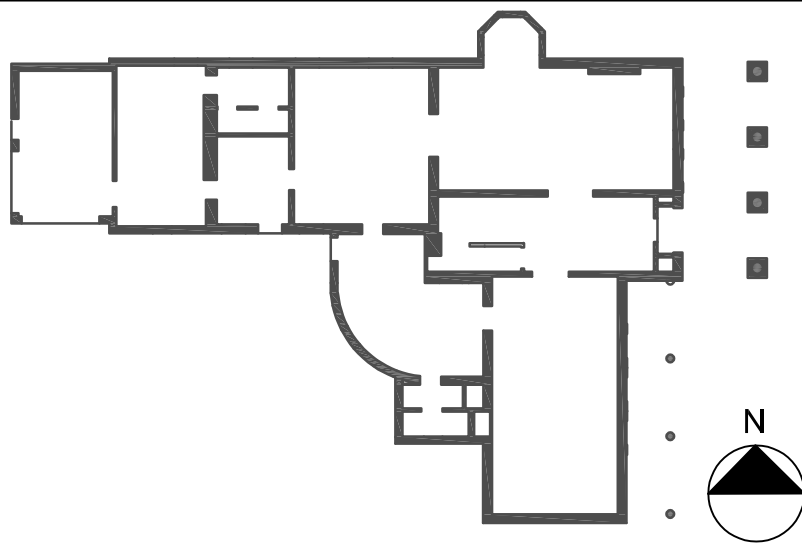
SCALE: NTS

4

LAMP DOWN APPLICATION DETAIL

SCALE: NTS

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**ELECTRICAL SCHEDULES  
AND DETAILS**

Drawing Number

E-700